Town of Arlington, MA
Redevelopment Board

Agenda & Meeting Notice
May 19, 2025

Per Board Rules and Regulations, public comments will be accepted during the public comment periods designated on the agenda. Written comments may be provided by email to cricker@town.arlington.ma.us by Monday, May 19, 2025, at 3:00 pm. The Board requests that correspondence that includes visual information should be provided by Monday, May 19, 2025, at 10:00 am. Please note that all times are estimates; individual agenda items may occur earlier or later than the time noted.

The Arlington Redevelopment Board will meet Monday, May 19, 2025 at 7:30 PM in the **Arlington Community Center, Main Hall, 27 Maple Street, Arlington, MA 02476**

1. Review Meeting Minutes

7:00 pm The Board will review and vote to approve meeting minutes from May 5, 2025.

2. Public Hearing: Docket #3798, 821 Massachusetts Ave (continued from April 14, 2025)

7:05 pm The public hearing is continued to allow the Board to review and approve the application under Section 3.3, Special Permits, and Section 3.4, Environmental Design Review.

In addition to the attached documents, a SketchUp Model Video is available here.

3. Public Hearing: Docket #3348, 821-837 Massachusetts Ave (continued from April 14, 2025)

7:25 pm The public hearing is continued to allow the Board to review and approve modifications to the previously issued Special Permit under Section 3.3, Special Permits, and Section 3.4, Environmental Design Review.

4. Town Meeting Discussion

7:30 pm The Board will discuss any amendments or substitute motions proposed for Articles regarding the Zoning Bylaw.

5. Adjourn to Town Meeting

7:45 pm (Estimated)

Town of Arlington, Massachusetts

Review Meeting Minutes

Summary:

7:00 pm The Board will review and vote to approve meeting minutes from May 5, 2025.

ATTACHMENTS:

	Type	File Name	Description
🗋	Meeting Minute (draft)	05052025_DRAFT_Minutes_Redevelopment_Board.pdf	05052025 DRAFT Minutes Redevelopment Board

Arlington Redevelopment Board
Monday, May 5, 2025, at 7:00 PM
Town Hall Annex, First Floor Conference Room
730 Massachusetts Ave, Arlington, MA 02476
Meeting Minutes

This meeting was recorded by ACMi.

PRESENT: Rachel Zsembery (Chair), Eugene Benson, Shaina Korman-Houston, Stephen Revilak

ABSENT: Kin Lau

STAFF: Claire Ricker, Director of Planning and Community Development; Sarah Suarez, Assistant Director of Planning and Community Development

---

The Chair called the meeting of the Board to order.

The Chair opened with **Agenda Item 1 – Review Meeting Minutes.**

April 7, 2025 – The Board members discussed the accuracy of the section of the minutes about Article 41, and they decided to make no changes to the minutes. The Chair requested a motion to approve the April 7 minutes as submitted. Mr. Benson so moved, Ms. Korman-Houston seconded, and the Board voted unanimously in favor.

April 10, 2025 – The Board members made no changes to the minutes. The Chair requested a motion to approve the April 10 minutes as submitted. Mr. Benson so moved, Ms. Korman-Houston, and the Board voted unanimously in favor.

April 14, 2025 – The Board members made no changes to the minutes. The Chair requested a motion to approve the April 14 minutes as submitted. Mr. Benson so moved, Ms. Korman-Houston, and the Board voted unanimously in favor.

The Chair moved to **Agenda Item 2 – Public Hearing: Docket #3831, 1323 Massachusetts Ave (continued from March 17, 2025).**

Ms. Ricker said that she spoke with the applicant, Asael Sanchez, and he assured her that he will remove the illegal window signage and will submit photos showing that he has done so. He is working with his sign company, but they have not yet submitted new sign drawings. She informed the applicant that if he does not remove the window signage, the Inspectional Services Department would be notified, and he would be subject to fees and citations for non-conforming signage. He agreed to submit new drawings in advance of a continued hearing on July 7, 2025.

Mr. Benson and the Chair both said that they have recently seen the property, and the illegal window signs are still up. Mr. Benson said that it would be a good idea to put the Board's concerns in writing to the applicant.

The Chair asked for a motion to continue the public hearing for Docket 3831 to July 7, 2025. Mr. Benson so moved, Ms. Korman-Houston seconded, and the Board voted unanimously in favor.

The Chair moved to **Agenda Item 3 – Town Meeting Discussion.**

The Chair noted that amendments or substitute motions have been submitted for Articles 25, 26, 38, and 41. Typically, Town Meeting asks the Board if it has any position on amendments, substitute motions, or other actions proposed for zoning articles.

Article 26

Vincent Baudoin submitted an amendment to Article 26, to add cargo bicycle parking as a Transportation Demand Management (TDM) strategy. One Town Meeting member asked the Chair if she had concerns about having two TDM

strategies related to bicycle parking. She said that the Board thoroughly considers TDM plans, and they work with applicants to make sure that the most appropriate TDM measures for the site are applied.

Mr. Revilak said that he supports this amendment. He understands the concern about double-counting the same bicycle parking spaces as two different TDM strategies. He would expect that if an applicant proposes two bicycle TDM strategies, they would be non-intersecting.

Ms. Korman-Houston said that she also supports this amendment, and she thinks that cargo bicycles meet a need that is distinct from traditional bicycles.

Mr. Benson said that he thinks that as a TDM strategy, parking for cargo bicycles should be long-term. Mr. Revilak said that he thinks that it depends on the use case. For example, at a day care, short-term cargo bicycle parking would be useful. Mr. Benson said that standard outdoor bicycle racks work for cargo bicycle parking as well. The only difference would be in long-term parking, where larger spaces and greater maneuverability in an indoor or covered space would be required. For residential uses, specifically, the requirement should be for long-term parking. The Chair noted that the Board would still have the flexibility to require long-term cargo bicycle parking if they felt the specific use warranted it. Mr. Benson agreed, but he said that he would prefer to have greater clarity in the bylaw, so that the need for long-term cargo bicycle parking is clear to applicants. He said that if other Board members are comfortable with the more general wording, he is willing to support it.

Ms. Korman-Houston noted that the zoning bylaw does not define cargo bicycle parking. Ms. Benson said that the Board should update the bicycle parking standards to include cargo bicycles.

The Chair asked for a motion to support the proposed amendment to Article 26 from Vincent Baudoin. Mr. Benson so moved, Mr. Revilak seconded, and the Board voted unanimously in favor.

Article 25

Wynelle Evans submitted an amendment to Article 26, requiring that Accessible Dwelling Units (ADUs) have at least a six-foot setback from the property line.

Mr. Revilak noted that Article 26 proposes removing the six-foot setback and replacing it with the setback requirements of the district in which the ADU is located. He thinks that makes more sense than requiring a six-foot setback in all districts.

Mr. Revilak also noted that in the zoning bylaw, residential districts allow “accessory buildings and garage structures,” while business districts allow “other permitted structures.” He requested clarification that the setbacks applying to any of those additional structures would apply to ADUs. Mr. Benson confirmed that.

Mr. Benson said that he does not support the amendment requiring a six-foot setback in all districts. He thinks that the six-foot rule in the proposed amendment might violate the new state law, because it is potentially more restrictive than the underlying zoning, but he would need to look into it.

Mr. Revilak noted that this amendment would also create a gray area in business districts, in which the underlying zoning for “other permitted structures” requires at least a 10-foot setback. If an ADU were planned with a setback larger than 10 feet, it could be built by right, and if it were planned with less than a six-foot setback, it would require a Special Permit. But it is not clear what would happen if it were planned with a setback between six and 10 feet.

The Chair suggested that the Board members be prepared to speak to their concerns at Town Meeting, but not take a formal vote on the amendment. The other members agreed.

Article 38

Andrew Greenspon submitted a substitute motion for Article 38, which is very similar to the Article he originally proposed on which the Board voted No Action.

Mr. Benson explained that Mr. Greenspon slightly amended his prior proposal in response to a question from the Town Moderator about whether part of it was out of scope of the warrant article.

The Chair said that she still has the same problems with this proposal that initially led her to vote not to support it; the business uses to be allowed in the R3 to R7 districts are too large, and it does not support the creation of small, home-based businesses.

Mr. Benson noted that there are approximately 1,900 parcels zoned R3 to R7, which presumably include some of the less expensive rental units in the town. He is concerned that allowing more business uses in those districts could result in the displacement of renters. Mr. Revilak noted that the Board will have to grapple with this issue as they consider expanding business districts. Mr. Benson agreed but said that it would be better to do so as part of a comprehensive process.

Mr. Revilak supported the substitute motion for the same reasons that led him to support the original main motion.

The Chair suggested that the Board members be prepared to speak to their concerns at Town Meeting, but not take a formal vote on the amendment. The other members agreed.

Article 41

Greg Dennis submitted a Motion to Commit for Article 41, proposing the creation of an Affordable Housing Overlay Committee to study the issue, conduct community outreach, and prepare one or more warrant articles to create such an overlay district for 2026 Annual Town Meeting. In addition, the Town would pay for all legal noticing.

Ms. Ricker said that the Motion to Commit specifies that much of the work for organizing the committee, and the responsibility for public notice, would rest on DPCD. Typically, DPCD works for the Redevelopment Board, not citizen petitioners, which raises the question of whether any resulting warrant articles would be taken up by the Board, or if they would be submitted as citizen petitions. The Board has expressed interest in looking at how best to create an affordable housing overlay district.

Mr. Benson said that he thinks that the provision in the Motion to Commit requiring that the report and recommendations of the committee go to Town Meeting violates state law. M.G.L. Chapter 40A Section 5 requires that amendments to the Zoning Bylaw (ZBL) go to the Redevelopment Board, which must then hold a public hearing. So a committee created to propose changes to the ZBL should report and make recommendations to the Board rather than to Town Meeting. He has emailed Mr. Dennis to raise these concerns, copying Town Counsel Michael Cunningham and Town Moderator Greg Cristiana, but has not yet received had a response.

Mr. Benson also noted that an Affordable Housing Overlay District is not the only way to provide more opportunities for affordable housing, but the way the Motion to Commit is worded would require discussion of an overlay and would not allow discussion of any other strategies.

The Chair noted that the Board and DPCD have made multiple commitments for Town Meeting in 2026, and she is concerned about their ability to do the work required within the next year. She also thinks that it is too restrictive to limit the work of the committee to creating an overlay district and not allow it to consider other methods of incentivizing affordable housing.

Ms. Korman-Houston noted that an affordable housing overlay has been articulated as a priority for a significant number of people, and the Board has stated that it is something they want to consider. The Board should in some way facilitate the work of a group that wants to create an affordable housing overlay, and it should support bringing a warrant article to Town Meeting.

Mr. Revilak agreed with Ms. Korman-Houston. He noted that many people expressed an interest in an affordable housing overlay district during the MBTA Communities process. There was also a non-binding resolution asking the Town to create such a district. He thinks that it would be acceptable if the proposal is not technically an overlay district but an alternative method for increasing affordable housing. He sees this Motion to Commit as a nudge to the Board to address an issue that it has said it will work on.

Mr. Benson noted that the Motion to Commit may have specified an overlay district because it had to be within the scope of Article 41. He thinks that using a motion based on Article 41 is not the right way to go about addressing the

issue of affordable housing. He also noted that the motion requires DPCD to send out notice as soon as the committee recommends changes to the Zoning Map, even before the recommendations have gone through any sort of process.

Mr. Benson also said that the Board has committed to addressing affordable housing, but it has never specifically committed to creating an overlay district. The Chair also noted that the Board has also never committed to having a proposal ready for Town Meeting in 2026.

Ms. Korman-Houston said that if this motion is not the best way to approach the issue, she would like the Board to decide what the right approach is and commit to pursuing it.

Mr. Benson said that the Board has committed to business rezoning in Arlington Heights and East Arlington for 2026 Town Meeting, and the Board is also involved in the Comprehensive Plan Update process. An affordable housing overlay would require a significant amount of work, and the Board and DPCD will not be able to take that on while fulfilling its other commitments for the coming year.

The Chair asked for a motion to adjourn to Town Meeting. Mr. Benson so moved, and Ms. Korman-Houston seconded, and the Board voted unanimously in favor.

Meeting **Adjourned** at **7:50 pm**.

Documents used:

Agenda Item 1	DRAFT ARB Minutes – April 7, 2025 DRAFT ARB Minutes – April 10, 2025 DRAFT ARB Minutes – April 14, 2025
Agenda Item 3	Amendment – Article 26
Correspondence	Warrant Article 26: • V. Baudoin, 4/16/2025 1500 Mass Ave: • D. Seltzer, 4/30/2025

Town of Arlington, Massachusetts

Public Hearing: Docket #3798, 821 Massachusetts Ave (continued from April 14, 2025)

Summary:

7:05 pm The public hearing is continued to allow the Board to review and approve the application under Section 3.3, Special Permits, and Section 3.4, Environmental Design Review.

In addition to the attached documents, a SketchUp Model Video is available here.

ATTACHMENTS:

	Type	File Name	Description
🗋	Application for Special Permit	821_Mass_Ave_-_EDR_Special_Permit_Application_-_2025-05-19.pdf	821 Mass Ave - EDR Special Permit Application - 2025-05-19
🗋	Application for Special Permit	821_Mass_Ave_-_Revised_Dimensional_and_Parking_Info_2025-05-19.pdf	821 Mass Ave - Revised Dimensional and Parking Info 2025-05-19
🗋	Application for Special Permit	821_Mass_Ave_-_Revised_Narrative_-_2025-05-19.pdf	821 Mass Ave - Revised Narrative - 2025-05-19
🗋	Application for Special Permit	821_Mass_Ave_-_Drawing_Set_-_2025-05-19.pdf	821 Mass Ave - Drawing Set - 2025-05-19
🗋	Application for Special Permit	821_Mass_Ave_-_Concealed_fixing_solution_-_Equitone.pdf	821 Mass Ave - Concealed fixing solution - Equitone
🗋	Application for Special Permit	821_Mass_Ave_-_LEED_Checklist_-_2024-09-05.pdf	821 Mass Ave - LEED Checklist - 2024-09-05
🗋	Application for Special Permit	821_Mass_Ave_-_Materials_Board_-_Exterior_Finishes_-_2025-03-10.pdf	821 Mass Ave - Materials Board - Exterior Finishes - 2025-03-10

REQUIRED SUBMITTALS CHECKLIST

One electronic copy of your application is required; print materials may be requested, Review the ARB's Rules and Regulations, which can be found at www.arlingtonma.gov/arb, for the full list of required submittals.

☑ **Application Cover Sheet (project and property information, applicant information)**

☑ **Dimensional and Parking Information Form (see attached)**

☑ **Impact statement**

Statement should respond to Environmental Design Review (Section 3.4) and Special Permit (Section 3.3) criteria on pages 6-8 of this packet); include:

- LEED checklist and sustainable building narrative as described in criteria 12.
- Summary of neighborhood outreach, if held or planned.

☑ **Drawing and photographs of existing conditions**

- Identify boundaries of the development parcel and illustrate the existing conditions on that parcel, adjacent streets, and lots abutting or directly facing the development parcel across streets.
- Photographs showing conditions on the development parcel at the time of application and showing structures on abutting lots.

☑ **Site plan of proposal. Must include:**

- Zoning boundaries, if any, and parcel boundaries;
- Setbacks from property lines;
- Site access/egress points;
- Circulation routes for pedestrians, bicyclists, passenger vehicles, and service/delivery vehicles;
- New buildings and existing buildings to remain on the development parcel, clearly showing points of entry/exit;
- Other major site features within the parcel or along its perimeter, including but not limited to trees, fences, retaining walls, landscaped screens, utility boxes, and light fixtures;
- Spot grades or site topography and finish floor level;
- Open space provided on the site;
- Any existing or proposed easements or rights of way.

☑ **Drawings of proposed structure**

- Schematic drawings of each interior floor of each proposed building, including basements.
- Schematic drawings of the roof surface(s), identifying roof materials, mechanical equipment, screening devices, green roofs, solar arrays, usable outdoor terraces, and parapets.
- Elevations of each exterior façade of each building, identifying floor levels, materials, colors, and appurtenances such as mechanical vents and light fixtures.
- Drawings from one or more prominent public vantage point illustrating how the proposed project will appear within the context of its surroundings.
- Graphic information showing façade materials and color samples.
- Include lighting plan and fixtures if not provided on site or landscaping plan.

☑ **Vehicle, Bicycle, and Service Vehicle Plans**

- Parking and loading plans, including all vehicle and bicycle parking facilities located on the parcel or within a structure, showing dimensions of spaces, driveways, access aisles, and access/egress points. Include line-of-sight and turning radius along with length and type of delivery truck.
- If you are requesting a reduction in the amount of required parking, include a Transportation Demand Management Plan per Section 6.1.5.
- Plans of all bicycle parking facilities located on the lot and within any structure, including dimensions of spaces and access routes and types of bicycle racks.

☑ **Sustainable Building and Site Design Elements**

- A solar energy systems assessment per Section 6.4, which must include:
  - An analysis for solar energy system(s) for the site detailing layout and annual production;
  - The maximum feasible solar zone area of all structures; and,
  - Drawings showing the solar energy system you propose, with a narrative describing the system, the reasons the system was chosen, and how the system meets the requirements of Section 6.4; or
  - A detailed explanation of why the project meets an exemption of Section 6.4.2.
- LEED checklist and narrative per EDR criterion 13.

☑ **Proposed landscaping *(may be incorporated into site plan)***

Schematic drawing(s) illustrating and clearly labels all landscape features, including hardscape materials, permeable areas, plant species, and light fixtures.

☐ **Plans for sign permits, if signage is an element of development proposal**

☑ **Stormwater management plan**

(for stormwater management during construction for projects with new construction)

☑ **SketchUp Compatible Model, if required**

☑ **Application fee**

(See Rule 12 of the ARB Rules and Regulations for how to calculate the fee)

FOR OFFICE USE ONLY Docket #: _____

_____ Special Permit Granted Date: _____

_____ Received evidence of filing with Registry of Deeds Date: _____

_____ Notified Building Inspector of Special Permit filing Date: _____

COVER SHEET

Application for Special Permit in Accordance with Environmental Design Review

PROPERTY AND PROJECT INFORMATION

1. Property Address 821 Massachusetts Avenue, Arlington MA

   Assessors Block Plan, Block, Lot No. 052.0-0001-0001.10 Zoning District B4

2. Deed recorded in the Registry of deeds, Book 1350, Page 69

   or- registered in Land Registration Office, Cert. No. _____, in Book _____, Page _____

3. Present Use of Property (include # of dwelling units, if any)

   Vacant Building and CVS Store

4. Proposed Use of Property (include # of dwelling units, if any)

   First Floor Front - 2 Retail/Office Spaces; First Floor Rear, Second and Third Floors - 4 Residential Units

APPLICANT INFORMATION

1. **Applicant:** Identify the person or organization requesting the Special Permit:

   Name of Applicant(s) Geoffrey Noyes

   Organization Noyes Realty, LLLP

   Address P.O. Box 40 (Street), Marblehead MA 01945 (City, State, Zip)

   Phone (781) 864-9686 Email gpnoyes@comcast.net

2. **Applicant Interest:** the applicant must have a legal interest in the subject property:

   ☑ Property owner ☐ Purchaser by land contract

   ☐ Purchaser by option or purchase agreement ☐ Lessee/tenant

3. **Property Owner** ☑ Check here if applicant is also property owner

   Identify the person or organization that owns the subject property:

   Name _____ Title _____

   Organization _____ Phone _____

   Address _____ (Street), _____ (City, State, Zip)

   Phone _____ Email _____

4. **Representative:** Identify any person representing the property owner or applicant in this matter:

Name Mary Winstansley-O'Connor Title Attorney

Organization Krattenmaker O'Connor & Ingber, P.C. Phone (617) 523-1010

Address One McKinley Sq., 5th Floor (Street), Boston MA 02109 (City, State, Zip)

Phone (617) 523-1009 Email moconnor@koilaw.com

5. Permit applied for in accordance with the following Zoning Bylaw section(s)

section(s)	title(s)
3.3	Request for Special Permit
3.4	Environmental Design Review

6. List any waivers being requested and the Zoning Bylaw section(s) which refer to the minimum or maximum requirements from which you are seeking relief.

section(s)	title(s)

7. Please attach a statement that describes your project and provide any additional information that may aid the ARB in understanding the permits you request. Include any reasons that you feel you should be granted the requested permission.

(In the statement below, check the options that apply)

The applicant states that Noyes Realty, LLLP is the owner ☑ or occupant ☐ or purchaser under agreement ☐ of the property in Arlington located at 821 Massachusetts Avenue, Arlington MA which is the subject of this application; and that unfavorable action ☐ or no unfavorable action ☐ has been taken by the Zoning Board of Appeals on a similar application regarding this property within the last two years. The applicant expressly agrees to comply with any and all conditions and qualifications imposed upon this permission, either by the Zoning Bylaw or by the Redevelopment Board, should the permit be granted.

Signature of Applicant(s):

P.O. Box 40, Marblehead, MA 01945 (Address) (781) 864-9686 (Phone)

DIMENSIONAL AND PARKING INFORMATION

Property Location: 821 Massachusetts Avenue

Zoning District: **B4 BUSINESS DISTRICT**

Applicant: Noyes Realty, LLLP

Address: **P.O. BOX 40, MARBLEHEAD MA 01945**

Present Use/Occupancy: No. of Dwelling Units:
Vacant Building & CVS Retail

Uses and their gross square feet: **50,149 GSF**

Proposed Use/Occupancy: No. of Dwelling Units:
2 Retail Spaces & 4 Residential Units & CVS Retail

Uses and their gross square feet: **2 Retail (2,126 SF); 4 Residential Units (1,556 SF, 2,703 SF, 2,703 SF, 2,366 SF); CVS Retail (36,945).**

		Present Conditions	Proposed Conditions	Min. or Max. Req'd by Zoning for Proposed Use	
Lot Size		79,864	79,864	min.	20,000
Frontage		291.49	291.49	min.	50
Floor Area Ratio[1]		.50	.63	max.	2.39
Lot Coverage (%), where applicable		17.9	21.8	max.	NA
Lot Area per Dwelling Unit (sf)		NA	NA	min.	NA
Front Yard Depth (feet)		10.0	5.9	min.	0
Side Yard Width (feet)	right side	17.9	7.6	min.	0
	left side	122.4	122.4	min.	0
Rear Yard Depth (feet)		91.9	91.9	min.	22.5
Height	stories	2.5	3	stories[2]	4
	feet	26	36.33	Feet	50
Open Space (% of G.F.A.)[3]				min.	
	Landscaped (sf)	5,607	7,393	(sf)	7,393
	Usable (sf)	NA	NA	(sf)	NA
Parking Spaces (#)[4]		73	73	min.	48
Parking Area Setbacks (feet) *(where applicable)*		NA	NA	min.	NA
Loading Spaces (#)		NA	NA	min.	NA
Bicycle Parking[5]	short term	5	5	min.	8
	long term	5	11	min.	11

[1] FAR is based on Gross Floor Area. See Section 5.3.22 for how to calculate Gross Floor Area. On a separate page, provide the calculations you used to determine FAR, including the calculations for Gross Floor Area.
[2] Where two heights are noted in the dimensional tables, refer to Section 5.3.19, Reduced Height Buffer Area to determine the applicable height or the conditions under which the Board may provide relief.
[3] Per Section 5.3.22(C), district dimensional requirements are calculated based on GFA. On a separate page, show how you determined the open space area amounts.
[4] See Section 6.1, Off-Street Parking. If requesting a parking reduction, refer to Section 6.1.5.
[5] See Section 6.1.12, Bicycle Parking, or refer to the Bicycle Parking Guidelines.

DIMENSIONAL AND PARKING INFORMATION

Property Location: 821 Massachusetts Avenue

Zoning District: **B4 BUSINESS DISTRICT**

Applicant: Noyes Realty, LLLP

Address: **P.O. BOX 40, MARBLEHEAD MA 01945**

Present Use/Occupancy: No. of Dwelling Units:
Vacant Building

Uses and their gross square feet: **13,204 GSF**

Proposed Use/Occupancy: No. of Dwelling Units:
2 Retail Spaces & 4 Residential Units

Uses and their gross square feet:
2 Retail (2,126 SF - Total);
4 Residential Units (1,556 SF, 2,703 SF, 2,703 SF, 2,366 SF)

		Present Conditions	Proposed Conditions	Min. or Max. Req'd by Zoning for Proposed Use	
Lot Size		10,490	10,490	min.	20,000
Frontage		58.10	58.10	min.	50
Floor Area Ratio[1]		.32	1.17	max.	2.0
Lot Coverage (%), where applicable		12.8	43.8	max.	NA
Lot Area per Dwelling Unit (sf)		NA	NA	min.	NA
Front Yard Depth (feet)		37.3	5.9	min.	0
Side Yard Width (feet)	right side	17.9	7.6	min.	0
	left side	5.9	5.27	min.	0
Rear Yard Depth (feet)		53.1	20.07	min.	22.5
Height	stories	2.5	3	stories[2]	4
	feet	26	36.33	Feet	50
Open Space (% of G.F.A.)[3]				min.	
	Landscaped (sf)	344	1,851	(sf)	1,851
	Usable (sf)	NA	NA	(sf)	NA
Parking Spaces (#)[4]		10	10	min.	10
Parking Area Setbacks (feet) *(where applicable)*		NA	NA	min.	NA
Loading Spaces (#)		NA	NA	min.	NA
Bicycle Parking[5]	short term	0	3	min.	3
	long term	0	6	min.	6

[1] FAR is based on Gross Floor Area. See Section 5.3.22 for how to calculate Gross Floor Area. On a separate page, provide the calculations you used to determine FAR, including the calculations for Gross Floor Area.
[2] Where two heights are noted in the dimensional tables, refer to Section 5.3.19, Reduced Height Buffer Area to determine the applicable height or the conditions under which the Board may provide relief.
[3] Per Section 5.3.22(C), district dimensional requirements are calculated based on GFA. On a separate page, show how you determined the open space area amounts.
[4] See Section 6.1, Off-Street Parking. If requesting a parking reduction, refer to Section 6.1.5.
[5] See Section 6.1.12, Bicycle Parking, or refer to the Bicycle Parking Guidelines.

ARB IMPACT STATEMENT **5/19/2025**
Rojas Design, Inc.

Building Use and Size

This new mixed-use building will be three stories tall and have a total gross area of 17,726 GSF (including a 4,522 GSF Basement – storage & mechanical), or **13,204 GSF** without the Basement. The First Floor has a total gross area of 4,598 GSF, the Second Floor has a total gross area of 4,303 GSF, and the Third Floor has a total gross area of 4,303 GSF. The building would have a **total height of 36'-3" above average finished grade**. The new building is compliant with the Town of Arlington Zoning Bylaw's Dimensional Requirements for this district. The site will have **10 off-street parking spaces** (including one handicap space) dedicated to this building.

The building includes two retail/office spaces, one accessible residential unit on the ground floor, and three residential units on the upper floors. All retail/office spaces and residential units shall have 2 means of egress. The ground floor retail/office spaces shall be designed for code-compliant accessibility and will have direct on-grade entries. The common roof would include private, trellised roof decks for three upper floor residential units, as well as the solar panels (50% of the roof area).

The proposed Uses and Sizes are as follows:

- **Two (2) Retail/Office Spaces** - First Floor, on-grade – fully accessible (1,063 SF each), or One (1) Retail/Office Space - First Floor, on-grade – fully accessible (2,126 SF);

- **Unit 1** - One (1) Ground Floor Accessible Residential Unit (1,556 SF-TLA) – 1 Bedrooms & 1½ Bathrooms. This unit is fully accessible with on-grade entrances and convenient paths to the nearby accessible parking space.

- **Unit 2** - One (1) Second Floor Residential Unit (2,703 SF-TLA) – 3 Bedrooms & 3 ½ Bathrooms. Unit 2 has Second Floor decks with a total of 258 SF, and an upper Roof Deck area of 1,192 SF. Unit 2, therefore, has a total exclusive use deck area of 1,450 SF;

- **Unit 3** - One (1) Third Floor Residential Unit (2,703 SF-TLA) – 3 Bedrooms & 3½ Bathrooms. Unit 1 has Second Floor decks with a total of 258 SF, and an upper Roof Deck area of 1,192 SF. Unit 3, therefore, has a total exclusive use deck area of 1,450 SF; and,

- **Unit 4** - One (1) Two-story, Residential Unit on the Second and Third Floors (2,366 SF-TLA) – 2 Bedrooms & 2½ Bathrooms. Unit 4 has Second & Third Floor decks with a total of 472 SF, and an upper Roof Deck area of 1,308 SF. Unit 4, therefore, has a total exclusive use deck area of 1,780 SF.

Special Permit Criteria

1. The uses requested (mixed-use) are listed as an allowable use in this zoning district.

2. The requested uses (housing and office) are essential and desirable to the public convenience and welfare.

3. The requested uses will not create any undue traffic congestion or in any way impair pedestrian safety. The uses and design will enhance pedestrian access and safety.

4. The requested uses will not overload any public water, drainage or sewer system or any other municipal system to such an extent that the requested uses or any developed use in the immediate area or in any other area of the Town will be unduly subjected to hazards affecting health, safety, or the general welfare.

5. Any special regulations for the uses as may be provided in the Bylaw shall be fulfilled.

6. The requested uses will not impair the integrity or character of the district or adjoining districts, nor will they be detrimental to the health, morals, or welfare. The uses and design will strengthen the civic street front and respectfully enhance the adjacent Church courtyard and landscape.

7. The requested uses will not, by its addition to a neighborhood, cause an excess of the particular uses that could be detrimental to the character of said neighborhood. The addition of new housing has a very favorable impact to the entire community. New office space will bring needed service providers to this neighborhood.

Environmental Review Criteria

1. Preservation of Landscape

The existing landscape shall be preserved, as far as practicable, and enhanced. This project minimizes tree and soil removal, and all grade adjustments are in keeping with the general appearance of neighboring developed areas. The existing 'side buffer' tree plantings shall remain and all landscape areas facing the abutters shall be enhanced and improved with new plantings.

2. Relation of Building to Environment

The proposed new building will relate harmoniously to the lot's terrain and to the use, scale, setbacks, materials, and context of the existing buildings in the vicinity that have a functional or visual relationship to the building. The building respects and enhances its side-yard relationship to the abutting church. Additional plantings and landscape improvements will help define a more attractive and effective buffer. The new building's setbacks are consistent with the abutters' and meet the requirements of the Zoning By-Law.

3. Open Space

The project's open spaces are designed to add visual attractiveness and functionality for the residents, visitors, customers, and neighbors. The new entrance landscape and

walkways from Massachusetts Avenue are designed to improve pedestrian safety, access, and identification. The new entry landscape plantings shall create a more attractive and pleasing streetside environment. The rear entrance landscape and walkways from the parking lot are similarly designed to enhance a safe pedestrian experience, provide additional plantings, lighting, bicycle parking, and clear access and egress. The upper roof decks for the three residential units provide additional open space amenities and encourage social interaction.

4. Circulation

Special design attention has been given to the building's residential and office entrances, walkways, parking, and pedestrian areas regarding safe vehicular, pedestrian, and bicycle circulation. The building's ground floor is completely accessible and welcoming from both Massachusetts Avenue and the rear parking area. The existing associated rear parking for this building will be re-designed and improved for accessibility and functionality. Short-Term and Long-Term Bicycle Parking will be provided and will be accessible from the rear parking lot. The improvements in pedestrian, vehicular, and bicycle circulation improvements will improve safety, access, and attractiveness and will not detract from the use and enjoyment of the proposed building and the neighboring properties.

5. Surface Water Drainage

The site design for this parcel shall include proper site surface drainage so that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Available Best Management Practices for the site shall be employed and include site planning to minimize impervious surface and reduce clearing and re-grading. Best Management Practices may include erosion control and storm water treatment by means of swales, filters, plantings, roof gardens, native vegetation, and leaching catch basins. Storm water shall be treated on-site, as far as practicable. Storm water that cannot be managed on site shall be removed from all roofs, canopies, paved and pooling areas and carried away in an underground drainage system. Surface water in all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic and will not create puddles in the paved areas. The current storm water drainage system in the existing parking lot is very functional and should be kept in place. The applicant shall maintain all the existing and proposed storm water facilities such as catch basins, leaching catch basins, detention basins, swales, etc. within the site.

The areas that would be considered for stormwater infiltration are the existing parking areas on the northerly side of the project that are to remain. Deep hole soil testing would be performed to evaluate the potential for stormwater infiltration and to determine if groundwater or ledge are site issues.

A stormwater computer analysis would then be prepared to determine the amount of runoff to be infiltrated. The stormwater management design would propose using roof runoff only. Subsequently, stormwater structures would be designed to mitigate any increases in runoff volumes and flows.

In the end, the stormwater structures would most likely be installed under the existing parking spaces, then the parking spaces would be restored to their original condition and

elevations. If necessary, the walkways would be designed with permeable pavers or paving.

6. Storm Water Facilities
The project will comply with the Department of Public Work's requirement for the maintenance of all storm water facilities.

7. Utility Service
All proposed electric, telephone, cable TV and other such lines and equipment shall be underground. The proposed method of sanitary sewage disposal and solid waste disposal from all buildings shall be in accordance with all codes and local requirements.

8. Advertising Features
The size, location, design, color, texture, lighting, and materials of all permanent signs (office and residential) and all other advertising structures or features shall be in conformance with the Town of Arlington's Signage Code and shall not detract from the use and enjoyment of proposed buildings and structures and the surrounding properties. All signage and advertising features will conform to the provisions of Section 6.2 of the Zoning Bylaw.

9. Special Features
Any exposed utility or service components (meters, transformers, etc.) shall be screened with appropriate plantings to minimize any visual impacts. Final plans shall include all exposed utility and mechanical features and their proposed landscape screening.

10. Safety
All the building's open and enclosed spaces shall be designed to facilitate building evacuation and maximize accessibility by fire, police, and other emergency personnel and equipment. As far as practicable, all exterior spaces and interior public and semi-public spaces shall be so designed as to minimize the fear and probability of personal harm or injury by increasing the potential surveillance by neighboring residents and passersby of any accident or attempted criminal act. Complete site and building security systems shall be incorporated into the proposed development. The safety and security of all residents, visitors, customers, and neighbors are important priorities of this project. The Arlington Fire Department has reviewed and approved the site plan for compliance with their vehicle access requirements.

11. Heritage
Arlington's heritage shall be respected. The removal, or disruption of historic, traditional, or significant uses, structures, or architectural elements shall be minimized, as far as practicable. The new building will provide a more consistent mixed-use presence on Massachusetts Avenue that relates to the Town's planning goals and priorities.

12. Microclimate
This development proposes a new structure and new hard-surface ground coverage and shall endeavor to minimize, as far as practicable, any adverse impact on light, air, and water resources, or on noise and temperature levels of the immediate environment. The building and site are designed with a focus on climate practicality, sustainability, and maintainability.

13. Sustainable Building and Site Design

This project shall incorporate best practices related to sustainable sites, water efficiency, energy and atmosphere, materials and resources, and indoor environmental quality. The building and site are designed with a focus on climate awareness, sustainability, and maintainability. The project is committed to meeting **LEED Silver standards** with the inclusion of the following sustainability components:

- Sustainable exterior and interior building & site materials and products
- Building envelope compliance with the Stretch Energy Code
- Low-Emittance windows & doors
- Energy-efficient mechanical systems
- Indoor Air Quality and thermal comfort
- Energy-efficient lighting and electrical devices
- Energy Star appliances
- Cool roofs & Trellis shading
- Solar-Panel Energy System – 50% of the roof area with panels
- Short-Term & Long-Term Bicycle Parking
- Electric Vehicle Charging Station
- Sustainable and less water-intensive landscape materials
- Non-invasive plant materials
- Additional street trees along Mass Ave in front of CVS and this new building
- Site and building cooling strategies utilizing planting locations
- Waste reduction and recycling
- Storm water management

The building to be demolished and the new construction site is located on the same lot as the existing CVS store building and there are no plans to subdivide the lot with respect to the Applicant's building plans.

The Applicant and members of his team have paid close attention to comments made at prior multiple hearings before both the ARB and the Historical Commission with respect to comments made by Members of the ARB and the Historical Commission as well as other interested parties with respect to what many individuals would like to see located in place of the Atwood House once the Atwood House is demolished.

Both the CVS store and the Atwood House are located on the same lot and there can be no subdivision of the lot to accommodate zoning for either one standing on its own because of zoning bylaw constraints.

At the time of the CVS ARB hearing which took place in 2009, there was language contained in the decision to the effect that there was a contemplation on the part of the Members of the ARB that the Atwood House could be demolished however there was no time constraint related to any plans to demolish the building.

The 2009 CVS ARB Decision contains language allocating certain parking spaces for the Atwood House whether it was to remain, be modified, demolished, or reconstructed.

We believe the Atwood House was constructed in the 1890's and of course the CVS store was constructed in the year 2010.

The Atwood House has been vacant and in a state of disrepair for an extended period of time.

As a result, the Applicant was fined by the Town and has fully paid all fines relating to outstanding building code and/or other violations.

The Applicant has engaged the services of Rojas Design, Inc., who have prepared mixed-use plans with respect to the submission and are now ready to move forward and obtain approval of the plans, demo the Atwood House, and construct a new mixed-use building all in accordance with the plans submitted to the ARB.

Development of the site will remove a significant "eyesore" on Massachusetts Avenue, the main thoroughfare threw the Town and, at the same time will add additional residential living space in the Town while maintaining a mixed-use component with respect to office use.

For all the above reasons the Applicant respectfully requests that his plans be approved by the ARB.

821 MASSACHUSETTS AVENUE

ARLINGTON REDEVELOPMENT BOARD SUBMISSION - NEW CONSTRUCTION

821 MASSACHUSETTS AVENUE
ARLINGTON, MA 02476

SUBMISSION SET
05/19/2025

SHEET LIST	
Sheet Number	Sheet Title
	COVER SHEET
PD- 01	BUILDING VIEWS
EX- 01	SITE PLAN WITH EXISTING BUILDING & TREES
TP- 01	TREE PROTECTION REMOVAL PLAN & DETAILS
	PROPOSED PLOT PLAN BY ROBER SURVEY
L- 01	PARTIAL BLOCK PLAN & ELEVATIONS - MASSACHUSETTS AVENUE
L- 02	PROPOSED SITE LAYOUT & MATERIALS PLAN
L- 03	PROPOSED PLANTING PLAN & PLANT LIST
A- 01	PROPOSED FIRST FLOOR & SECOND FLOOR PLANS
A- 02	PROPOSED THIRD FLOOR & ROOF PLANS
A- 03	PROPOSED BASEMENT PLAN, FRONT (SOUTH) & REAR (NORTH) ELEVATION
A- 04	PROPOSED SIDE (EAST) ELEVATION & SIDE (WEST) ELEVATION
C- 01	EXISTING CONDITIONS PLAN
C- 02	PROPOSED CONDITIONS DRAINAGE PLAN
	BOSTON LIGHT SOURCE - PHOTOMETRIC SITE PLAN

Owner

Geoffrey Noyes
Noyes Realty, LLP
P.O. Box 40
Marblehead MA 01945

(781) 631-1123

Architecture | Interior Design | Landscape Architecture

Rojas Design, Inc.

46 Waltham Street Suite 2A
Boston MA 02118

(617) 720-4100

RD 2958

Surveyor

Rober Survey

1072 Massachusetts Avenue
Arlington MA 02476

(781) 648-5533

Civil Engineer

Gala Simon Associates, Inc.
394 Lowell Street Suite 18
Lexington MA 02420

(781) 266-8179

821

MASSACHUSETTS AVENUE ARLINGTON MA 02476

ARLINGTON REDEVELOPMENT BOARD SUBMISSION

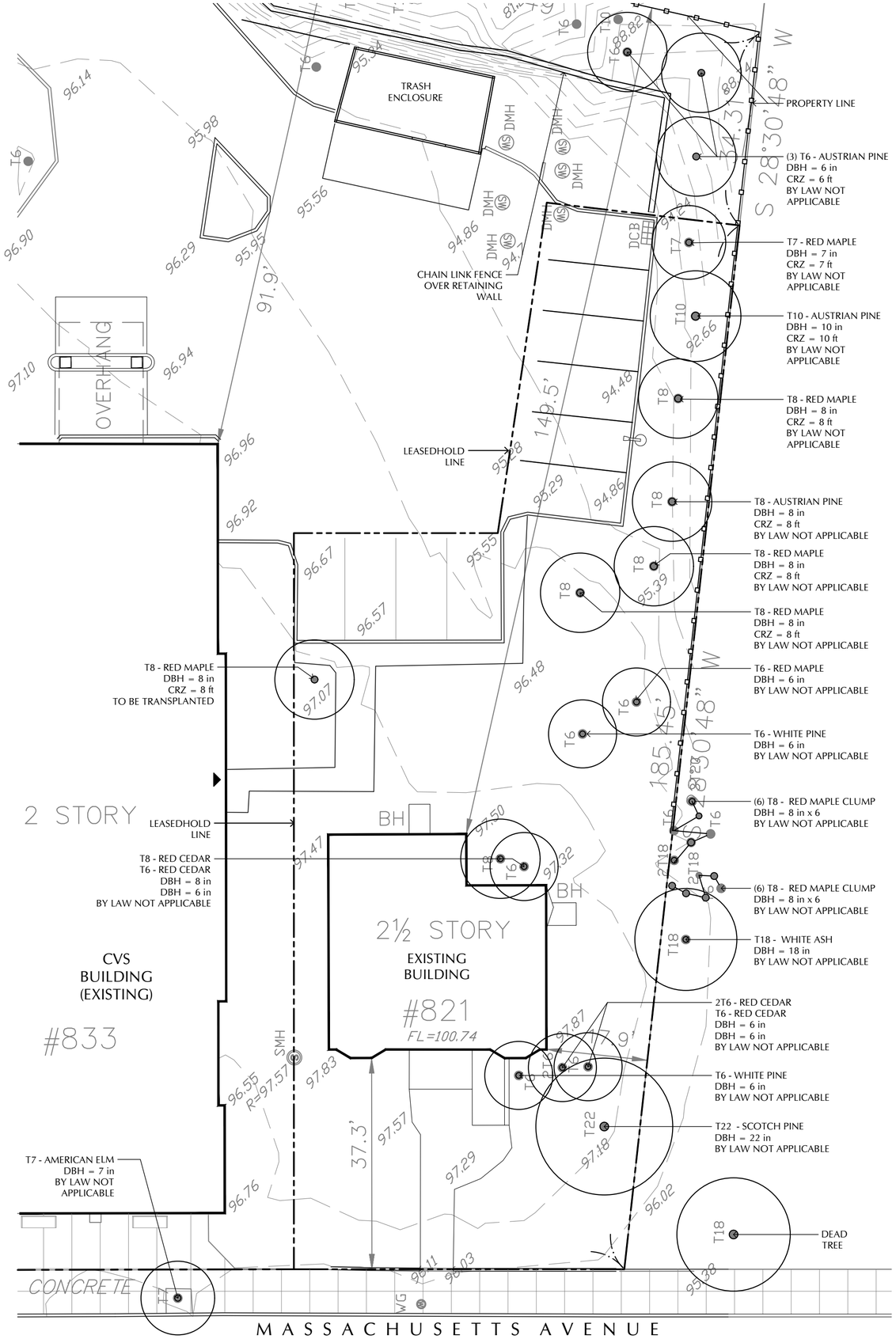
Job:	2958
Date:	05/19/2025
Scale:	AS NOTED
Drawn:	ISP
Checked:	ATR

BUILDING VIEWS

Rojas Design, Inc.
Architecture
46 Waltham Street - Suite 2A
Interior Design
Boston MA 02118
Landscape Architecture
(617) 720-4100

Rojas

PD-01



1 SITE PLAN WITH EXISTING BUILDING & TREES

SCALE: 1" = 15'-0"

15' 7.5' 0 15'

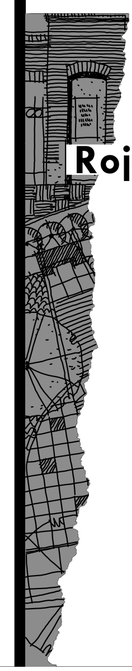
821

MASSACHUSETTS AVENUE ARLINGTON MA 02476

ARLINGTON REDEVELOPMENT BOARD SUBMISSION

Job:	2958
Date:	05/19/2025
Scale:	AS NOTED
Drawn:	ISP
Checked:	ATR

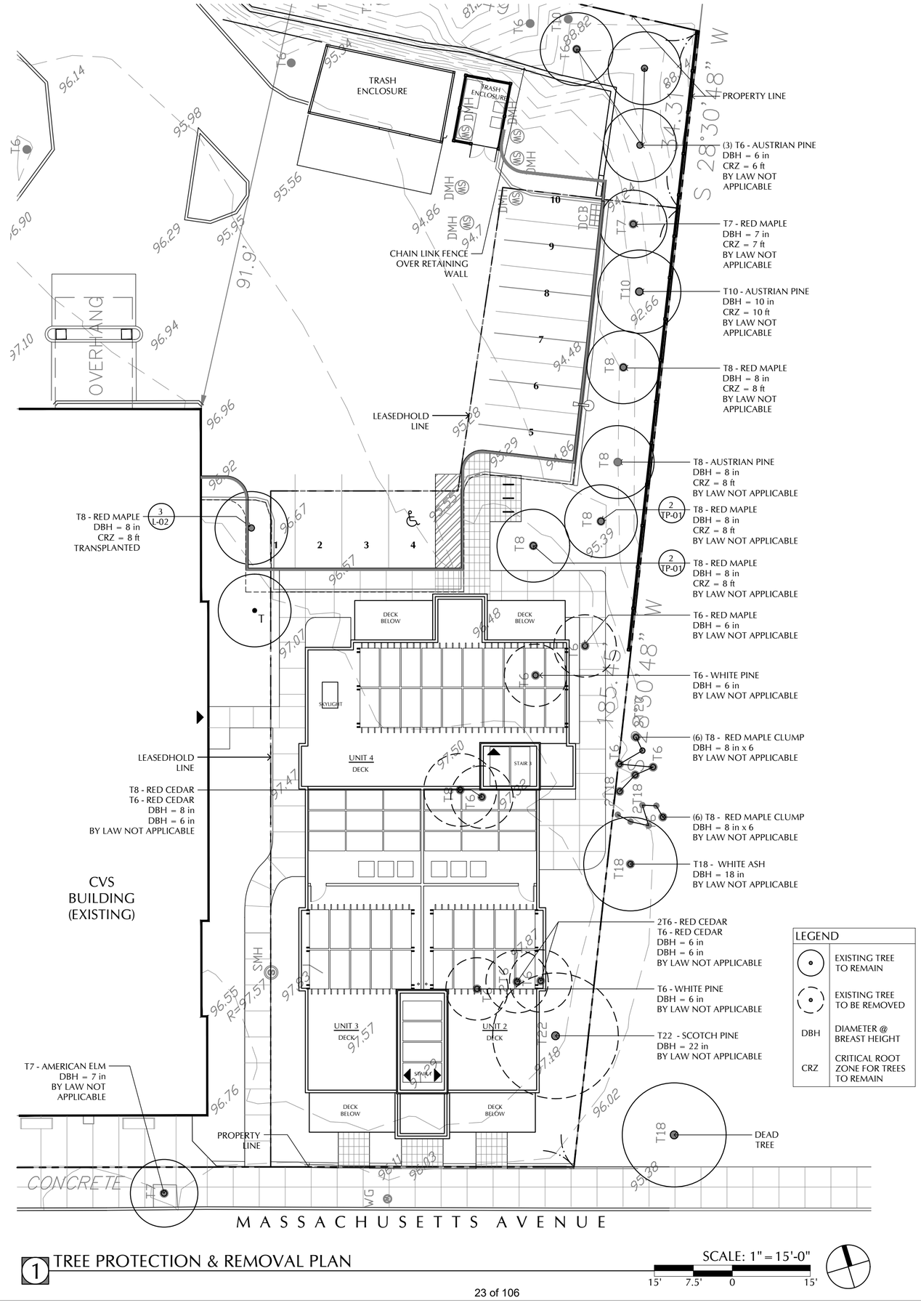
SITE PLAN WITH EXISTING BUILDING & TREES



Rojas Design, Inc.
Architecture
46 Waltham Street - Suite 2A
Interior Design
Boston MA 02118
Landscape Architecture
(617) 720-4100

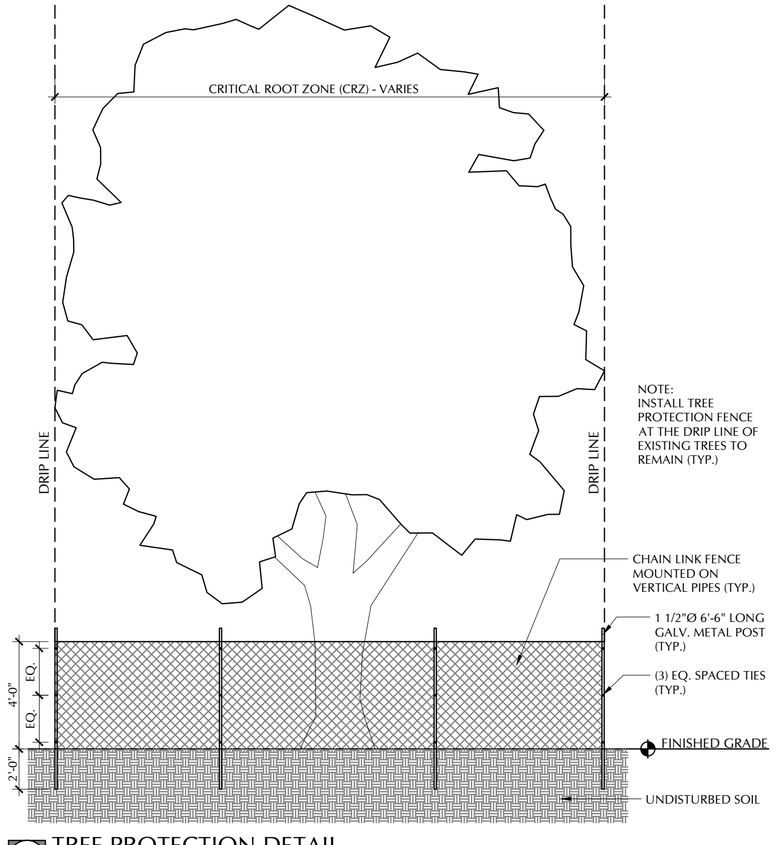
Rojas

EX-01



1 TREE PROTECTION & REMOVAL PLAN

SCALE: 1" = 15'-0"



2 TREE PROTECTION DETAIL

821

MASSACHUSETTS AVENUE ARLINGTON MA 02476

ARLINGTON REDEVELOPMENT BOARD SUBMISSION

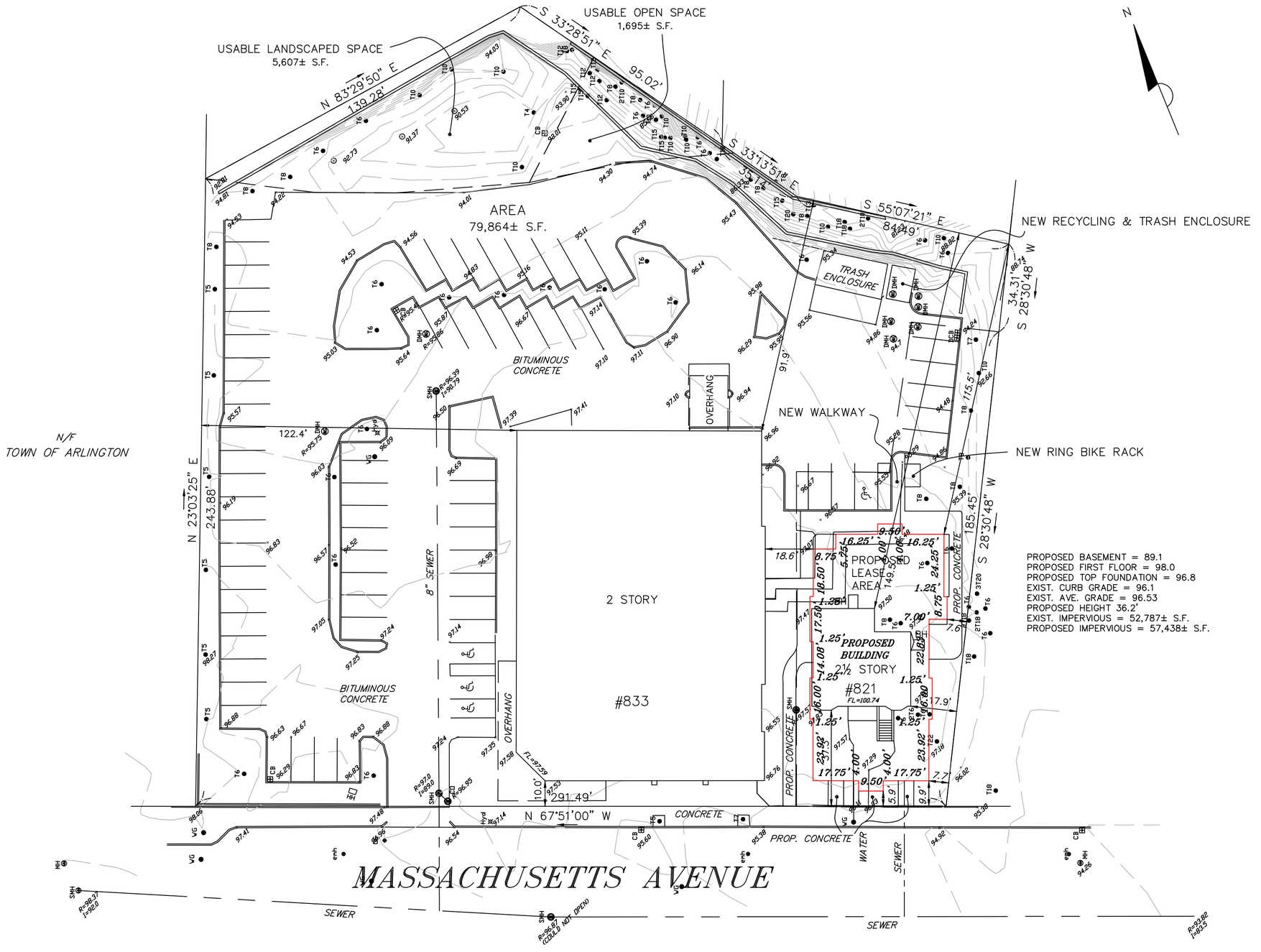
Job:	2958
Date:	05/19/2025
Scale:	AS NOTED
Drawn:	ISP
Checked:	ATR

TREE PROTECTION & REMOVAL PLAN & DETAILS

Rojas Design, Inc.
Architecture
46 Waltham Street - Suite 2A
Interior Design
Boston MA 02118
Landscape Architecture
(617) 720-4100

Rojas

TP-01



PROPOSED BASEMENT = 89.1
PROPOSED FIRST FLOOR = 98.0
PROPOSED TOP FOUNDATION = 96.8
EXIST. CURB GRADE = 96.1
EXIST. AVE. GRADE = 96.53
PROPOSED HEIGHT 36.2'
EXIST. IMPERVIOUS = 52,787± S.F.
PROPOSED IMPERVIOUS = 57,438± S.F.

LEGEND

BH	BULKHEAD
CB	CATCH BASIN
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
EMH	ELECTRIC MANHOLE
FL	FLOOR
GG	GAS GATE
HH	HANDHOLD
HYD	HYDRANT
SMH	SEWER MANHOLE
T8 ●	8" TREE
WG	WATER GATE
97.14	HANDICAP PARKING
	SPOT GRADE ELEVATION

I HEREBY CERTIFY THAT THE BUILDING IS LOCATED AS SHOWN.

7/25/2023

SCOTT LYNCH, PLS DATE

THIS PLAN MAY HAVE BEEN ALTERED IF THE SIGNATURE IS NOT SIGNED IN BLUE.

COMMONWEALTH OF MASSACHUSETTS
SCOTT C. LYNCH
NO. 51636
PROFESSIONAL LAND SURVEYOR

UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL "DIG SAFE" 1-800-322-4844. SOME DATA IS CONFLICTING AND CAN ONLY BE VERIFIED BY EXCAVATION.

PREPARED FOR: GEOFFREY NOYES

PROPOSED PLOT PLAN

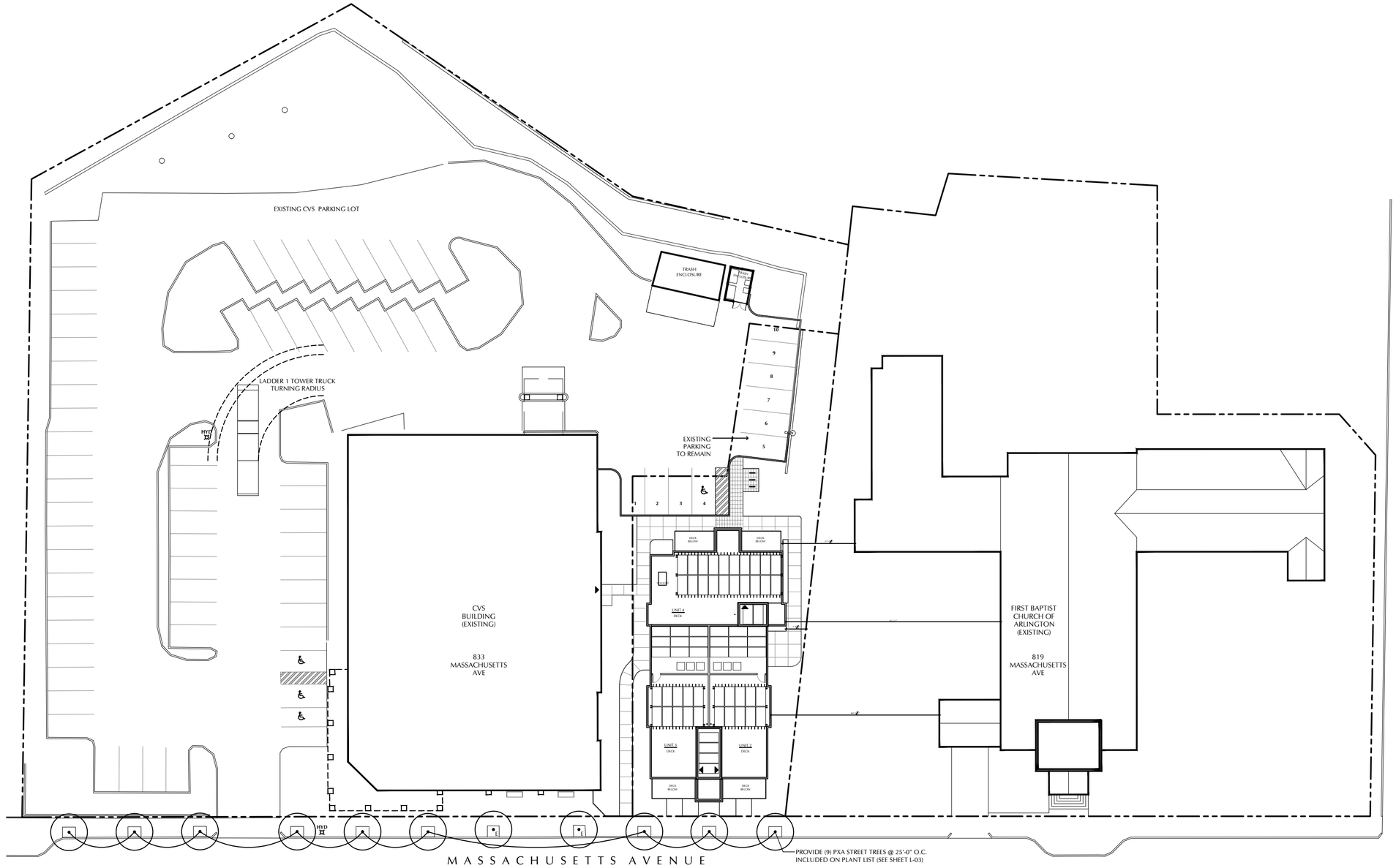
#821-833 MASSACHUSETTS AVENUE
IN
ARLINGTON, MA
(MIDDLESEX COUNTY)

SCALE: 1"= 30' DATE: 7/25/2023

0 30 60 90 ft

ROBER SURVEY
1072A MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533

7239PP5.DWG



1 PROPOSED PARTIAL BLOCK PLAN

SCALE: 1" = 30'-0"

30' 15' 0 30'

2 PROPOSED PARTIAL BLOCK ELEVATION

SCALE: 1" = 30'-0"

30' 15' 0 30'

821

MASSACHUSETTS AVENUE ARLINGTON MA 02476

ARLINGTON REDEVELOPMENT BOARD SUBMISSION

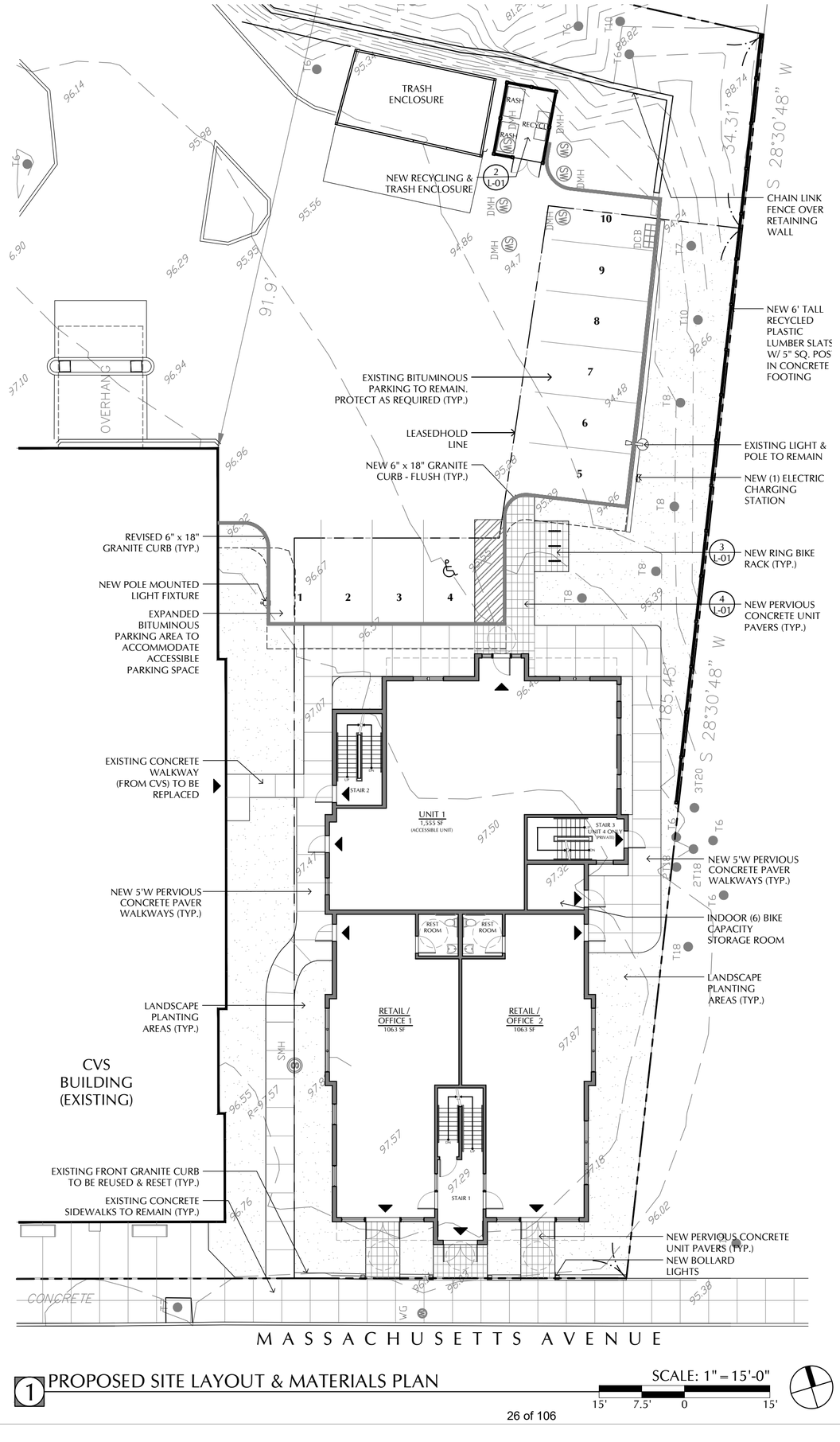
Job:	2958
Date:	05/19/2025
Scale:	AS NOTED
Drawn:	ISP
Checked:	ATR

PROPOSED PARTIAL BLOCK PLAN & ELEVATION

Rojas Design, Inc.
Architecture
46 Waltham Street - Suite 2A
Interior Design
Boston MA 02118
Landscape Architecture
(617) 720-4100

Rojas

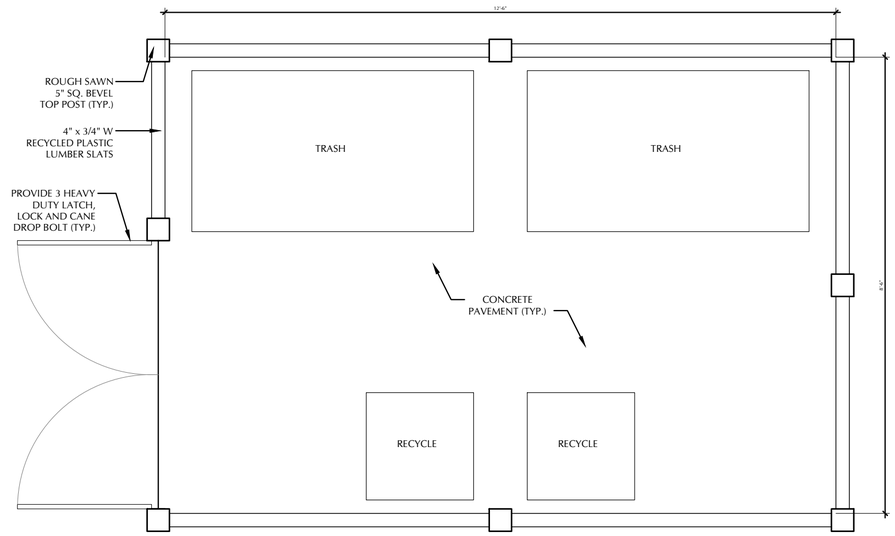
L-01



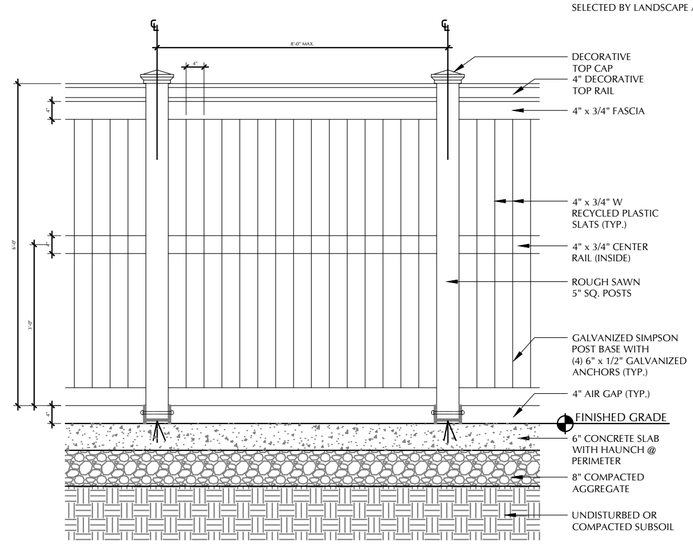
1 PROPOSED SITE LAYOUT & MATERIALS PLAN

SCALE: 1" = 15'-0"

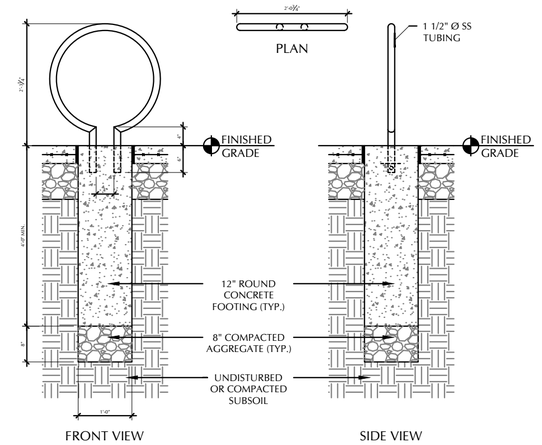
15' 7.5' 0 15'



NOTE:
ALL ELEMENTS TO BE RECYCLED PLASTIC LUMBER. COLORS TO BE SELECTED BY LANDSCAPE ARCHITECT



2 TRASH ENCLOSURE PLAN & ELEVATION



3 RING BIKE RACK DETAIL

NTS

821

MASSACHUSETTS AVENUE ARLINGTON MA 02476

ARLINGTON REDEVELOPMENT BOARD SUBMISSION

Job:	2958
Date:	05/19/2025
Scale:	AS NOTED
Drawn:	ISP
Checked:	ATR

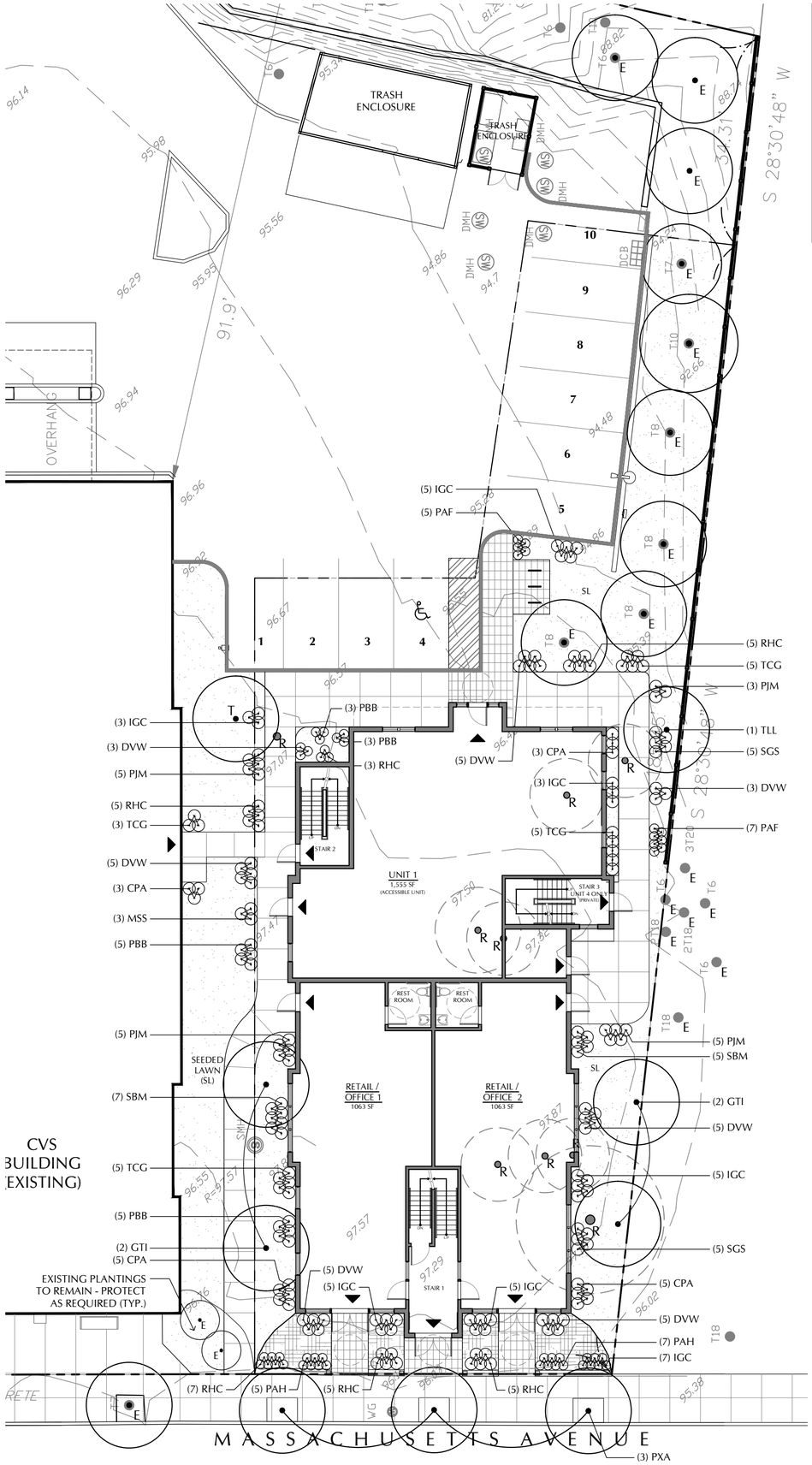
PROPOSED SITE LAYOUT & MATERIALS PLAN & DETAIL

Rojas Design, Inc.
Architecture
46 Waltham Street - Suite 2A
Interior Design
Boston MA 02118
Landscape Architecture
(617) 720-4100

Rojas

L-02

821 MASSACHUSETTS AVENUE, ARLINGTON MA			PLANT LIST			ROJAS DESIGN, INC. RD 2958 12/27/2024
	SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
TREE	E	11	EXISTING TREE	EXISTING TREE	IN PLACE	TO REMAIN	PROTECT AS REQUIRED - PROVIDE CLASS 'A' PRUNING AS DIRECTED BY L.A.
	R	8	REMOVE TREE	REMOVE TREE	EXISTING	REMOVE	REMOVE TREE AND STUMP IN THEIR ENTIRETY
	T	1	TRANSPALNTED TREE - MAPLE TREE	TRANSPLANTED TREE	EXISTING	TRANSPALNTED	TRANSPLANT TREE, LOCATION AS SHOWN ON DRAWINGS
	GTI	4	GLEDITSIA TRIACANTHOS INERMIS	THORNLESS HONEY LOCUST	3"-3 1/2" CAL.	B & B	PRUNE BRANCHING TO 6'-0" ABOVE FINISHED GRADE
	PXA	9	PLATANUS X ACERIFOLIA	LONDON PLANE TREE	3"-3 1/2" CAL.	B & B	PRUNE BRANCHING TO 6'-0" ABOVE FINISHED GRADE
	TLL	1	TILIA CORDATA	LITTLE LEAF LINDEN	3"-3 1/2" CAL.	B & B	PRUNE BRANCHING TO 6'-0" ABOVE FINISHED GRADE
SHRUBS	CPA	16	CHAMAECYPARIS PISIFERA 'FILIFERA AUREA'	GOLDEN THREADLEAF CYPRESS	2'-0" - 2'-6" SPREAD	B & B	YELLOW/GOLD COLOR YEAR-ROUND - BROAD DOME FORM - SPACING @ 2'-0" O.C. - EVERGREEN
	DVW	31	RHODODENDRON 'DELAWARE VALLEY WHITE'	'DELAWARE VALLEY WHITE' AZALEA	2'-6" - 3'-0" TALL	B & B	WHITE FLOWERS - BLOOMS APRIL - MAY - SPACING AT 2'-6" O.C. - EVERGREEN
	IGC	35	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	2'-6" - 3'-0" TALL	B & B	EVERGREEN DENSE MOUNDED FORM - SPACING AT 2'-6" O.C.
	PBB	16	PIERIS 'BROWERS BEAUTY'	BROWER'S BEAUTY ANDROMEDA	2'-6" - 3'-0" TALL	B & B	CREAMY WHITE FLOWER - BLOOMS LATE APRIL SPACING AT 2'-6" O.C.
	PJM	18	RHODODENDRON 'PJM'	'PJM' RHODODENDRON	2'-6" - 3'-0" TALL	B & B	MAGENTA FLOWERS - BLOOMS LATE SPRING - EARLY SUMMER - SPACING AT 2'-6" O.C. - EVERGREEN
	RHC	32	RHODODENDRON 'HINO-CRIMSON'	HINO-CRIMSON AZALEA	2'-6" - 3'-0" TALL	B & B	FUCHSIA FLOWERS - BLOOMS LATE SPRING EARLY SUMMER - SPACING AT 2'-6" O.C. - EVERGREEN
	SBM	12	SPIRAEA X BUMALDA 'ANTHONY WATERER'	SPIREA BUMALDA 'ANTHONY WATERER'	2'-6" - 3'-0" TALL	B & B	SMALL WHITE FLOWERS - BLOOMS IN MAY SPACING AT 2'-6" O.C.
	TCG	22	TAXUS CUSPIDATA 'GREENWAVE'	GREENWAVE JAPANESE YEW	2'-6" - 3'-0" SPREAD	B & B	EVERGREEN WITH LOW MOUNDING FORM SPACING AT 2'-6" O.C.
GRASSES	LSP	340	LIRIOPE SPICATA	CREEPING LIRIOPE	12" SPREAD	1 GAL	FLOWERS LATE SUMMER WITH PALE VIOLET FLOWERS - SPACING 8 PLANTS PER 10 SF OF BED
	MSS	3	MISCANTHUS SINENSIS 'STRICTUS'	ZEBRA GRASS	4'-0" - 7'-0" TALL	3 GAL	GREEN AND YELLOW BANDED BLADES WITH YELLOW FLOWERS - BLOOMS JULY - SEPTEMBER
	PAF	12	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	2'-6" - 5'-0" TALL	3 GAL	FOUNTAIN SHAPED FORM WITH DARK GREEN BLADES AND BUFF WHITE FLOWERS IN JULY - OCTOBER
	PAH	12	PENNISETUM ALOPECUROIDES 'HAMELIN'	DWARF KARLY ROSE FOUNTAIN GRASS	1'-6" - 2'-6" TALL	3 GAL	DENSE CLUMPED GROWTH WITH UPRIGHT MOUNDS OF PURPLE FLOWERS
	SGS	10	MISCANTHUS SINENSIS 'GRACILLIMUS'	SILVER OR EULALIA GRASS	4'-0" - 7'-0" TALL	3 GAL	UPRIGHT FORM WITH FEATHERY CREAM FLOWERS - BLOOMS IN LATE SEPTEMBER - OCTOBER
G.C.	SL	470 SY	SEEDED LAWN	SEEDED LAWN	PEARL'S PREMIUM SUN-SHADE MIX	6" CLEAM LOAM MIX	SLICE SEEDING OR HYDROSEEDING FOR FULL COVERAGE OF NOTED AREAS AND ALL AREAS DISTURBED BY CONSTRUCTION AND LANDSCAPING (TYP.)

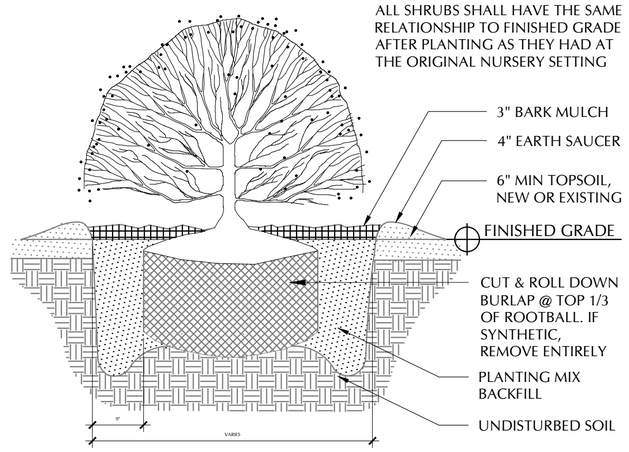


1 PROPOSED PLANTING PLAN

SCALE:1" = 15'-0"

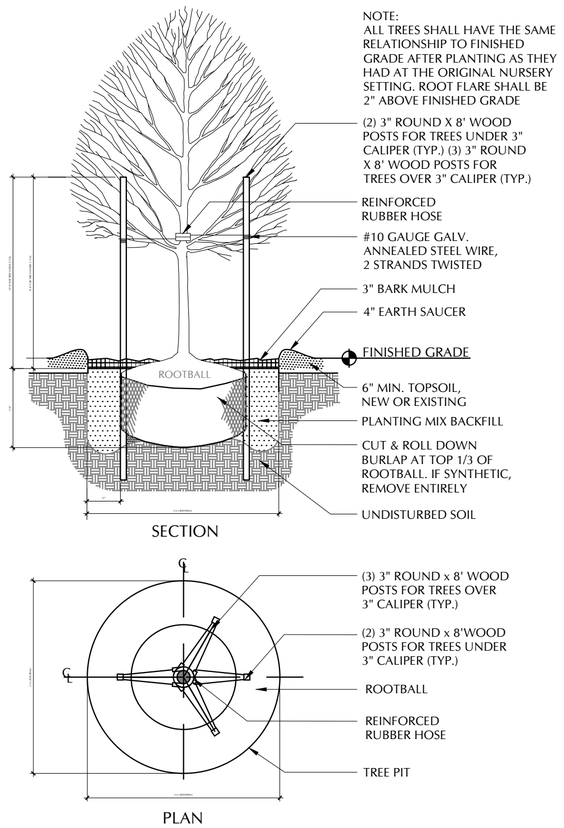
15' 7.5' 0 15'

NOTE:
ALL SHRUBS SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING



SECTION

2 SHRUB PLANTING DETAIL



SECTION

PLAN

3 TREE PLANTING PLAN

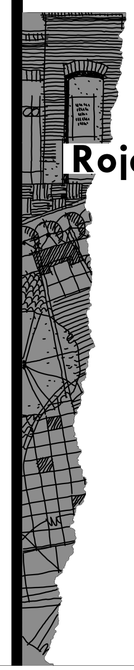
821

MASSACHUSETTS AVENUE ARLINGTON MA 02476

ARLINGTON REDEVELOPMENT BOARD SUBMISSION

Job:	2958
Date:	05/19/2025
Scale:	AS NOTED
Drawn:	ISP
Checked:	ATR

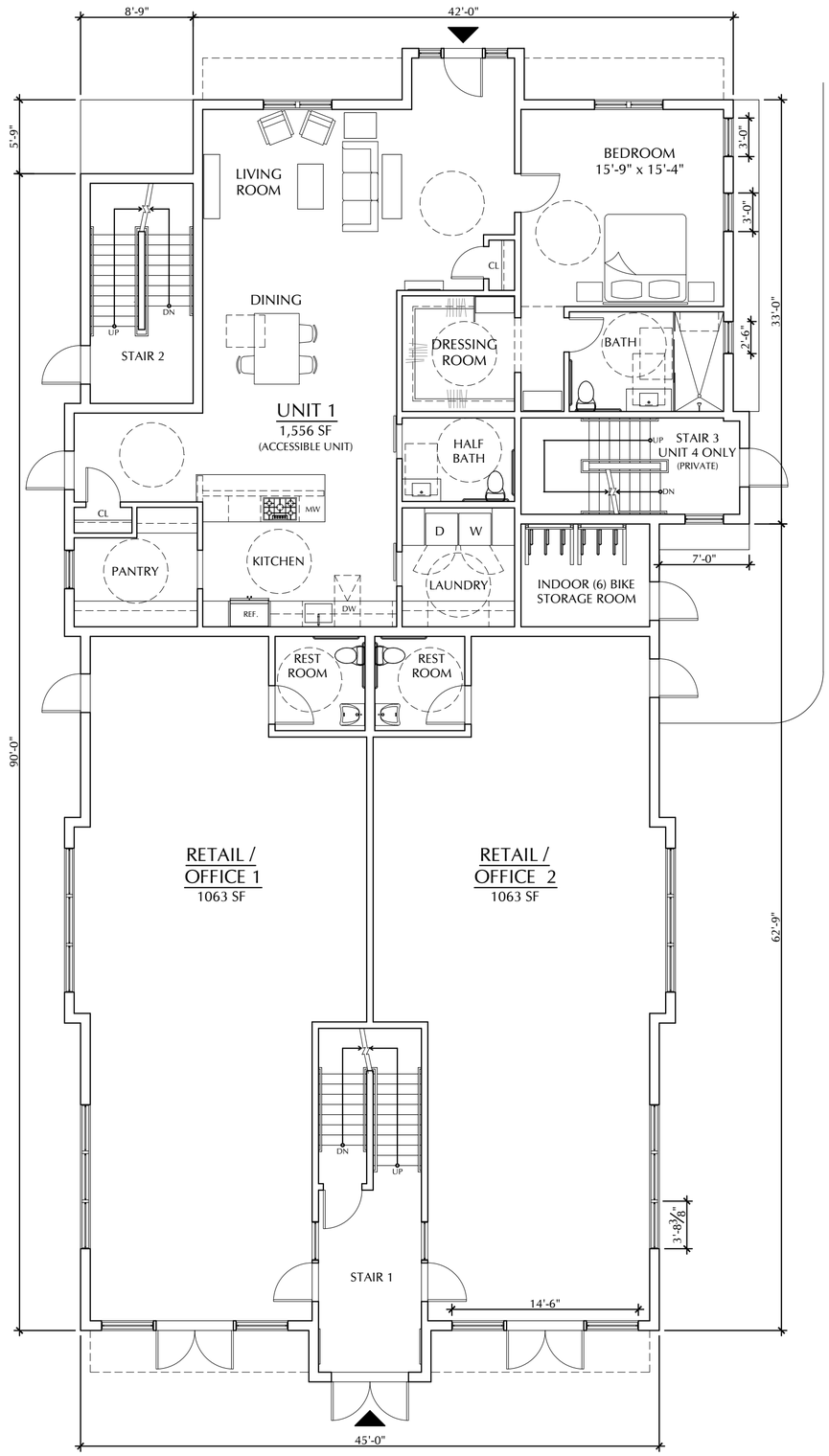
PROPOSED PLANTING PLAN & PLANT LIST



Rojas Design, Inc.
Architecture
46 Waltham Street - Suite 2A
Interior Design
Boston MA 02118
Landscape Architecture
(617) 720-4100

Rojas

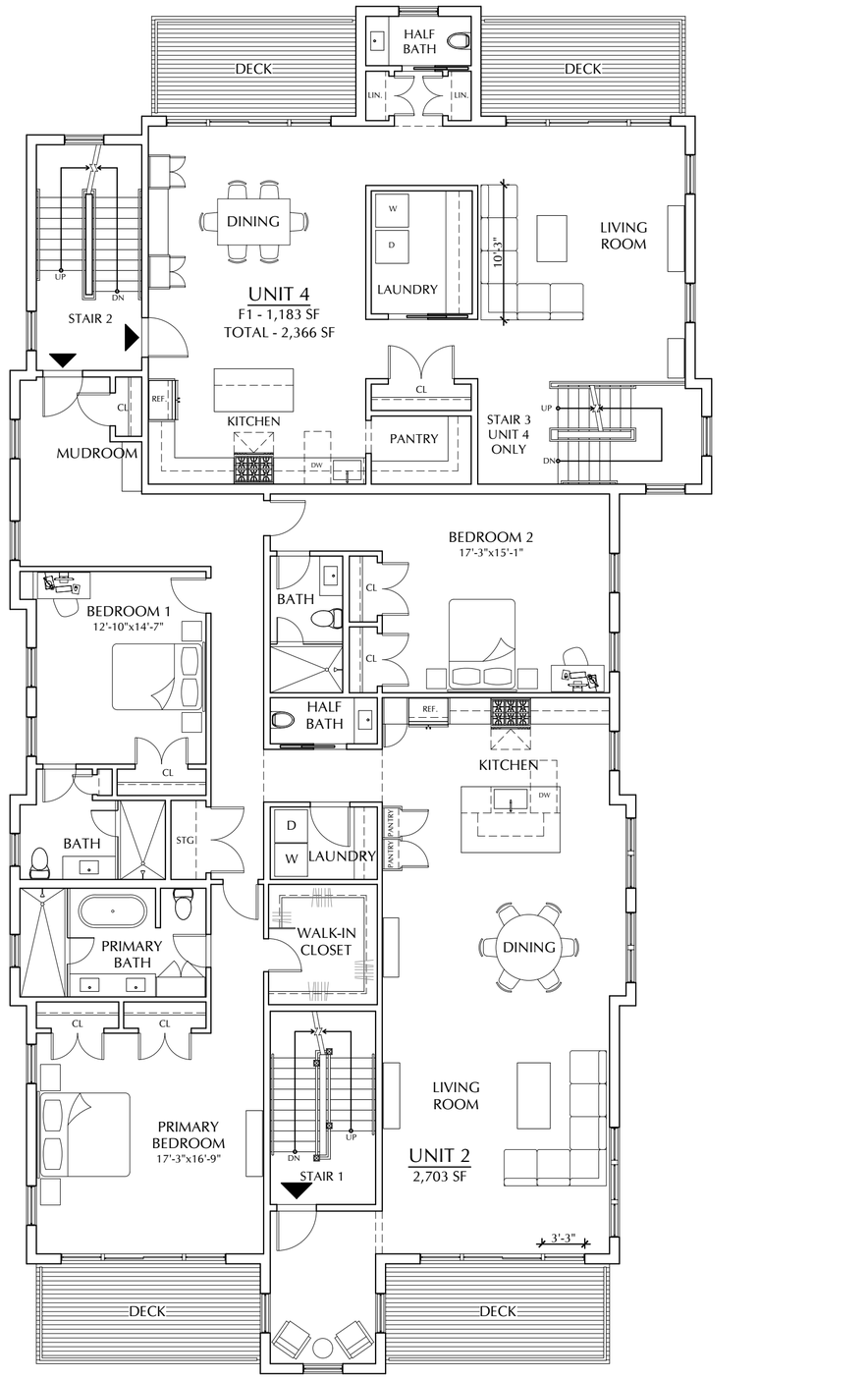
L-03



1 PROPOSED FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

8' 4' 0 8'



2 PROPOSED SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

8' 4' 0 8'

821

MASSACHUSETTS AVENUE ARLINGTON MA 02476

ARLINGTON REDEVELOPMENT BOARD SUBMISSION

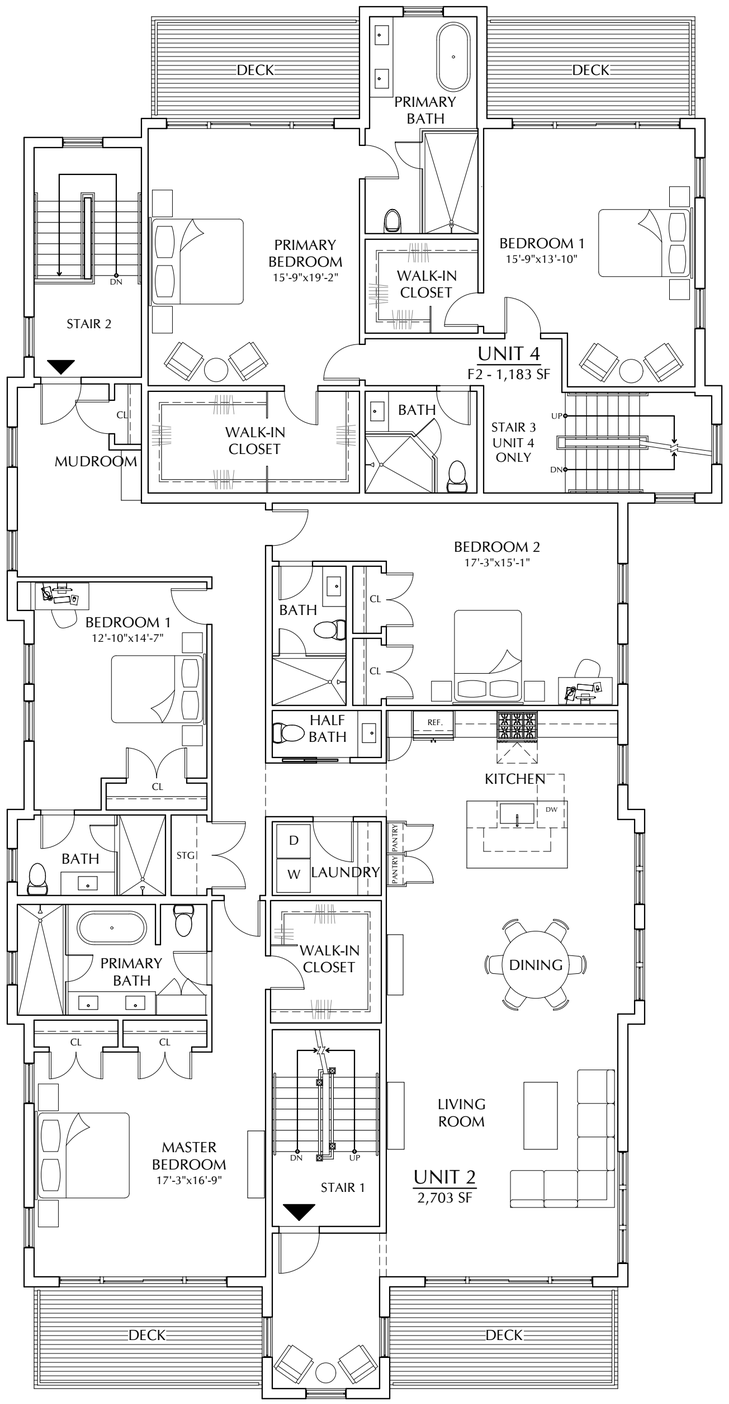
Job:	2958
Date:	05/19/2025
Scale:	AS NOTED
Drawn:	ISP
Checked:	ATR

PROPOSED FIRST FLOOR & SECOND FLOOR PLANS

Rojas Design, Inc.
Architecture
46 Waltham Street - Suite 2A
Interior Design
Boston MA 02118
Landscape Architecture
(617) 720-4100

Rojas

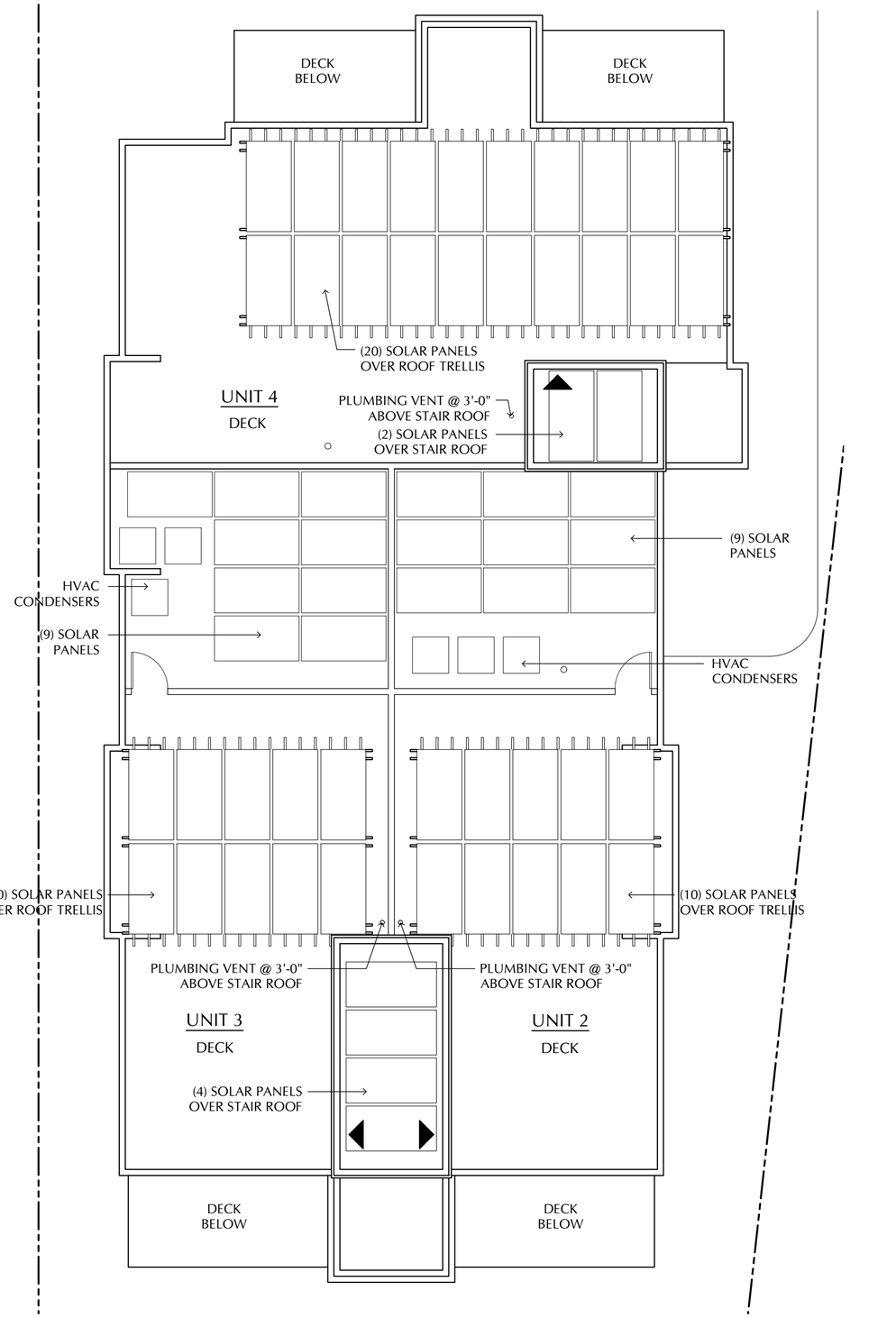
A-01



1 PROPOSED THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

8' 4' 0 8'



2 PROPOSED ROOF PLAN
REFER TO SOLAR PACKAGE FOR PANEL & SYSTEM SPECIFICS

SCALE: 1/8" = 1'-0"

8' 4' 0 8'

821

MASSACHUSETTS AVENUE ARLINGTON MA 02476

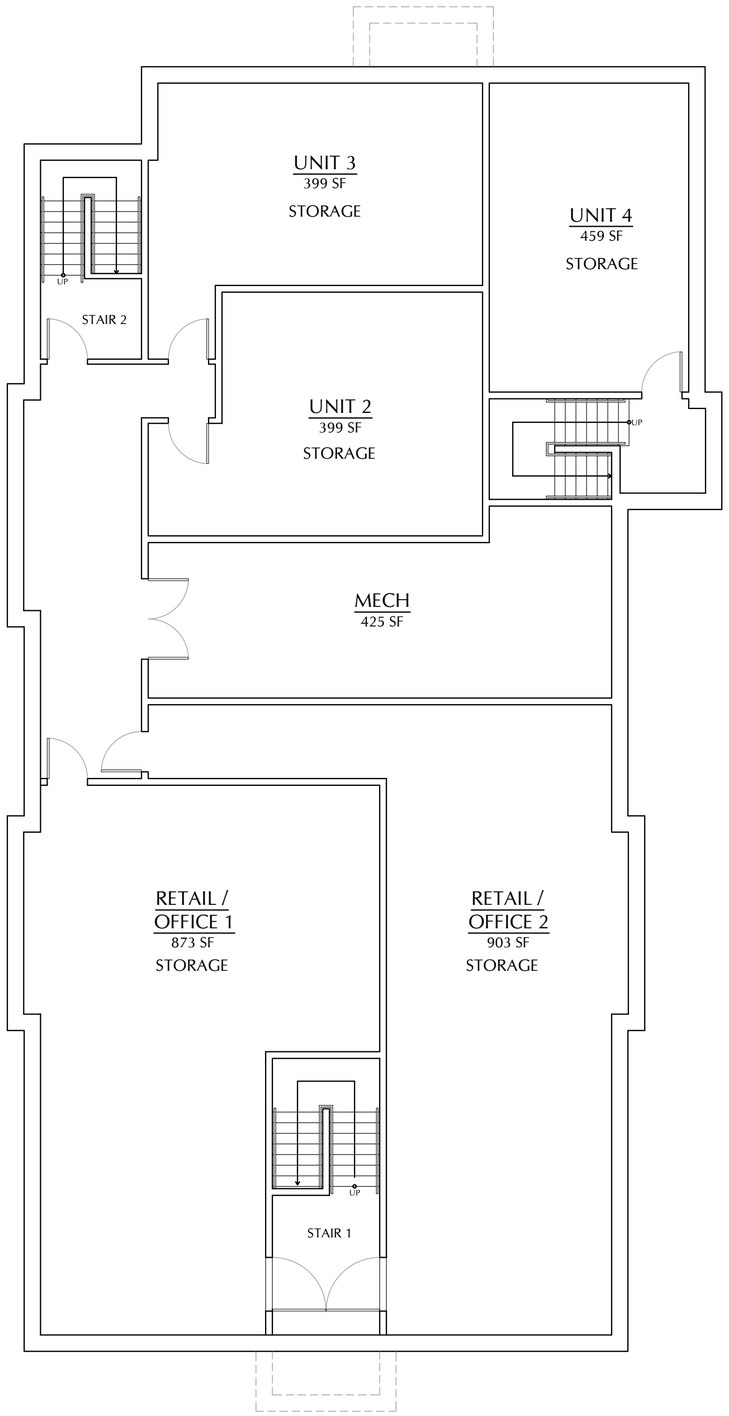
ARLINGTON REDEVELOPMENT BOARD SUBMISSION

Job:	2958
Date:	05/19/2025
Scale:	AS NOTED
Drawn:	ISP
Checked:	ATR

PROPOSED THIRD FLOOR & ROOF PLAN

Rojas Design, Inc.
Architecture
46 Waltham Street - Suite 2A
Interior Design
Boston MA 02118
Landscape Architecture
(617) 720-4100
Rojas

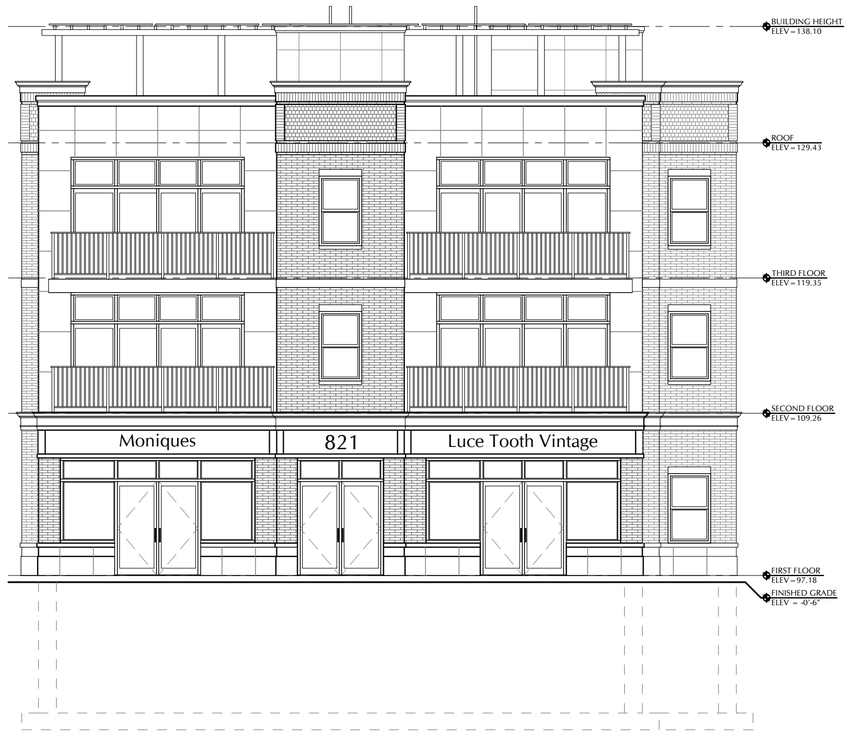
A-02



1 PROPOSED BASEMENT PLAN

SCALE: 1/8" = 1'-0"

8' 4' 0 8'

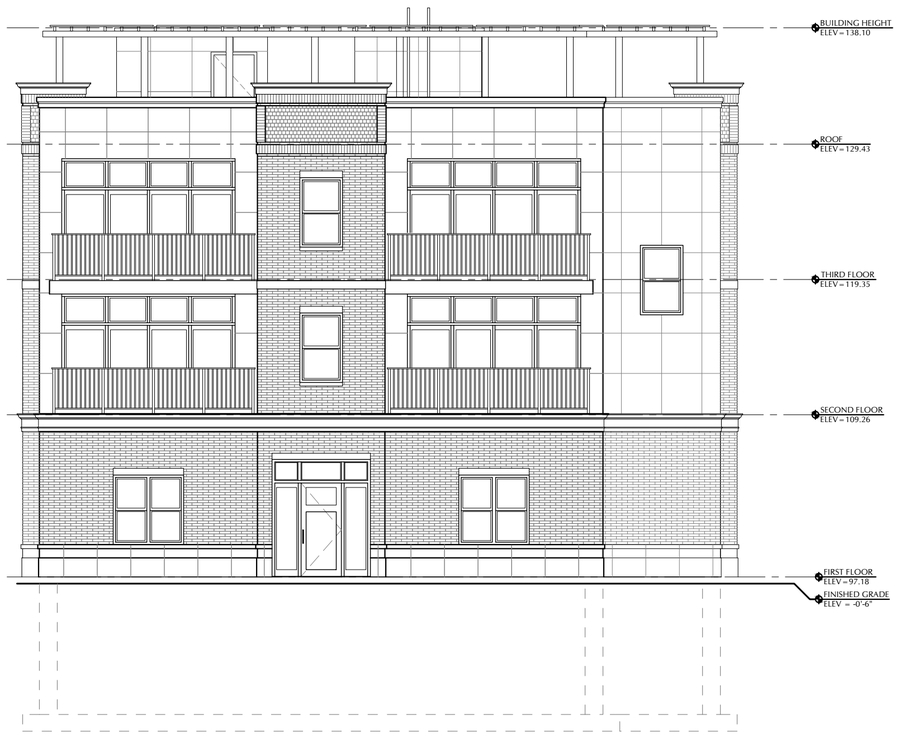


2 PROPOSED FRONT (SOUTH) ELEVATION

MASSACHUSETTS AVENUE

SCALE: 1/8" = 1'-0"

8' 4' 0 8'



3 PROPOSED REAR (NORTH) ELEVATION

SCALE: 1/8" = 1'-0"

8' 4' 0 8'

821

MASSACHUSETTS AVENUE ARLINGTON MA 02476

ARLINGTON REDEVELOPMENT BOARD SUBMISSION

Job:	2958
Date:	05/19/2025
Scale:	AS NOTED
Drawn:	ISP
Checked:	ATR

PROPOSED BASEMENT PLAN, FRONT (SOUTH) ELEVATION & REAR (NORTH) ELEVATION

Rojas Design, Inc.
Architecture
46 Waltham Street - Suite 2A
Interior Design
Boston MA 02118
Landscape Architecture
(617) 720-4100

Rojas

A-03

1 PROPOSED SIDE (EAST) ELEVATION

SCALE: 1/8" = 1'-0"

8' 4' 0 8'

2 PROPOSED SIDE (WEST) ELEVATION

SCALE: 1/8" = 1'-0"

8' 4' 0 8'

821

MASSACHUSETTS AVENUE ARLINGTON MA 02476

ARLINGTON REDEVELOPMENT BOARD SUBMISSION

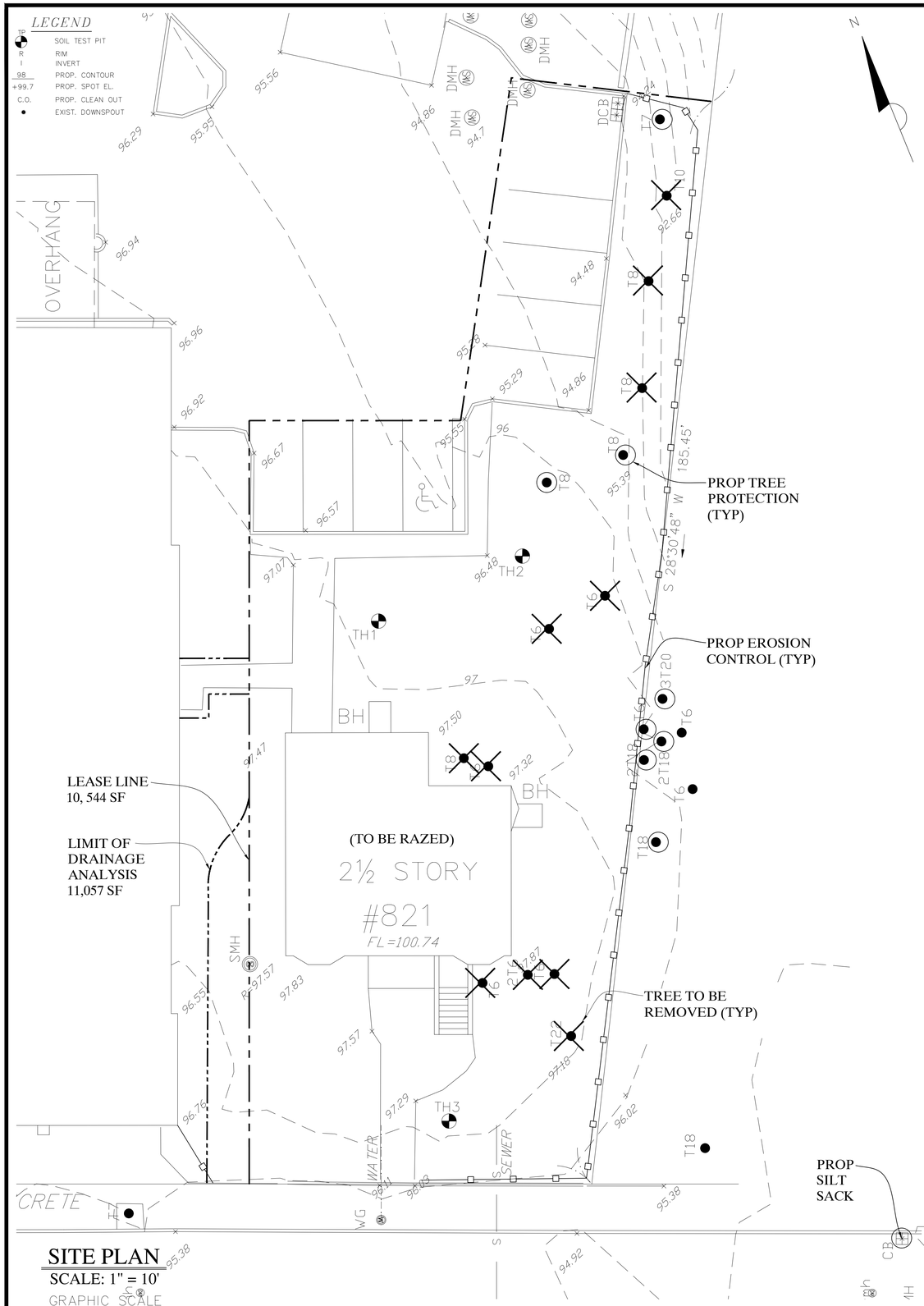
Job:	2958
Date:	05/19/2025
Scale:	AS NOTED
Drawn:	ISP
Checked:	ATR

PROPOSED SIDE (EAST) & SIDE (WEST) ELEVATIONS

Rojas Design, Inc.
Architecture
46 Waltham Street - Suite 2A
Interior Design
Boston MA 02118
Landscape Architecture
(617) 720-4100

Rojas

A-04



GENERAL NOTES

1. EXISTING CONDITIONS SURVEY INFORMATION OBTAINED FROM ROBER SURVEY, ARLINGTON, MA. OWNER/CLIENT ASSUMES ALL RESPONSIBILITY FOR SOURCES AND AUTHORIZATION TO USE ELECTRONIC AND RECORD FILES.
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING INFORMATION ON THE GROUND AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER IMMEDIATELY FOR A DECISION PRIOR TO CONSTRUCTION.
3. ALL AREAS OUTSIDE OF THE LIMIT OF WORK LINES SHALL NOT BE DISTURBED IN ANY MANNER BY THE CONTRACT OPERATIONS. THE CONTRACTOR SHALL KEEP OUT OF THESE AREAS AND PRESERVE THEIR EXISTING CHARACTER.
4. INSTALL TEMPORARY EROSION CONTROL MEASURES PRIOR TO CONSTRUCTION FOR APPROVAL BY THE DESIGN ENGINEER.
5. PROVIDE SMOOTH TRANSITION AT CHANGES IN GRADE EXCEPT AS INDICATED ON THE DRAWINGS AND AS DIRECTED BY THE ENGINEER.
6. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNDERGROUND UTILITY LINES; ACTIVE OR NOT, AND SHALL MAINTAIN A CLOSE AND CONSTANT CONTACT WITH ALL UTILITY COMPANIES INVOLVED. CALL DIG-SAFE 888-344-7233
7. ALL ELEVATIONS ARE REFERENCED TO AN NAVD88 DATUM.
8. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS, PERMITTING, AND LICENSES ISSUED AT THE FEDERAL, STATE AND LOCAL AGENCIES.
9. CONTRACTOR SHALL COORDINATE ALL SITE UTILITY IMPROVEMENTS WITH THE TOWN OF ARLINGTON OFFICIALS.
10. ENGINEER IS TO BE CONTACTED BY CONTRACTOR TO PERFORM AS BUILT MEASUREMENTS.
11. OWNER/DEVELOPER IS TO COMPLY WITH ALL OF MASSACHUSETTS DEP SITE DEVELOPMENT REGULATIONS.

DRAINAGE NOTES

1. CONTRACTOR IS RESPONSIBLE FOR THE VERTICAL AND HORIZONTAL CONTROLS OF THE PROJECT.
2. CONTRACTOR IS TO REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION OF BUILDING DOWNSPOUTS.
3. THE MINIMUM CLEARANCE FROM THE BOTTOM OF THE SUBSURFACE DRAINAGE SYSTEMS TO REFUSAL OR GROUNDWATER IS 24 INCHES.
4. SYSTEMS WILL REQUIRE PERIODIC INSPECTION.
5. STORMWATER RUNOFF SHALL NOT BE DIRECTED ACROSS ADJACENT PROPERTY LINES.

LAYOUT & GRADING NOTES

1. CONSULT ALL DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BETWEEN ALL TRADES PRIOR TO COMMENCING NEW CONSTRUCTION.
2. LOCATION OF EXISTING UTILITIES SHOWN ARE DIAGRAMMATIC ONLY. CONTRACTOR SHALL CONTACT THE PROPER AUTHORITIES IN WRITING TO CONFIRM THE LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE INCURRED DURING CONSTRUCTION TO ANY UTILITY SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
3. CONTRACTOR TO REFER TO A SURVEYOR PLOT PLAN FOR ACCURATE OFFSETS TO PROPERTY LINE.

SOIL TEST DATA

Performed by Gala Simon Associates, Inc., on 9/5/24

TH1 (EL. 96.9)

Horizon	Depth	Color	Texture	Mottles	Other	Elevation
C1	120"	N/A	FILL	–	–	86.9
C	128"	10YR5/4	LS	–	–	86.2

NO WATER, NO MOTTLING AND NO REFUSAL

TH2 (EL. 96.5)

Horizon	Depth	Color	Texture	Mottles	Other	Elevation
C1	111"	N/A	FILL	–	–	87.3
C	115"	10YR6/6	CS	–	–	86.9

NO WATER, NO MOTTLING AND NO REFUSAL

TH3 (EL. 97.1)

Horizon	Depth	Color	Texture	Mottles	Other	Elevation
A/B	25"	N/A	FILL	–	–	95.0
C1	77"	10YR5/4	LS	–	–	90.7
C2	100"	10YR5/3	CS	–	–	88.8

NO WATER, NO MOTTLING AND NO REFUSAL

AS BUILT NOTE:

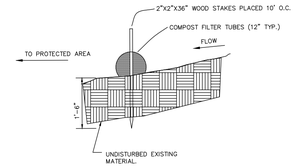
CONTRACTOR IS TO CONTACT ENGINEER FOR AS-BUILT MEASUREMENTS PRIOR TO BACK FILLING DRAINAGE SYSTEMS.

UTILITY NOTES:

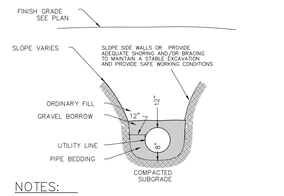
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THIS PLAN, PRIOR TO ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BEFORE PROCEEDING WITH THE WORK.
THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATERGATES, ETC. AND COMPILED FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, ALL UTILITY COMPANIES OR AGENCIES PRIOR TO ANY EXCAVATION WORK. CALL DIGSAFE AT 1-800-322-4844

SAFETY NOTE:

CONTRACTOR IS TO IMPLEMENT ALL NECESSARY SAFETY AND CONSTRUCTION MEASURES AND PROCEDURES FOR THE CONSTRUCTION OF THE PROJECT. STRICT COMPLIANCE WITH FEDERAL, STATE AND LOCAL SAFETY AND CONSTRUCTION REQUIREMENTS IS MANDATORY.

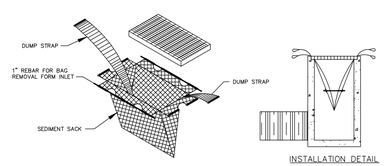


1 C-0 EROSION CONTROL
SCALE: NTS



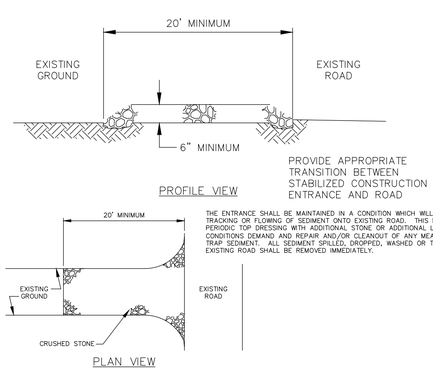
NOTES:
1. 8" SAND CUSHION REQUIRED AT ALL LEDGE OR PIPE CROSSING
2. NO STONE GREATER THAN 3" TO BE PLACED OVER PIPE TO FINISH GRADE
3. NO STONE GREATER THAN 3" WITHIN 12" OF PIPE.
4. GRAVEL BORROW SHALL COMPLY WITH MHD M1.03.0 TYPE C
5. PIPE BEDDING SHALL COMPLY WITH MHD M1.04.1

2 C-0 TYP. UTILITY TRENCH
SCALE: NTS



NOTES:
1. SOME MUNICIPALITIES DO NOT ALLOW GUTTER PROTECTION ON PUBLIC ROADS. SILT BAGS SHOULD BE USED WITH THESE CASES.
2. BAGS SHOULD BE CLEANED OUT AFTER EVERY RAIN EVENT AND/OR AS NEEDED.

3 C-0 SILT SACK
SCALE: NTS



THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO EXISTING ROAD. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO EXISTING ROAD SHALL BE REMOVED IMMEDIATELY.

4 C-0 STABILIZED CONSTRUCTION ENTRANCE
SCALE: NTS

NOT FOR CONSTRUCTION

Gala Simon Associates Inc.
394 LOWELL STREET, SUITE 18
LEXINGTON, MA 02420
Tel: (781) 676-2962
Gala Simon Associates GSA *Civil Engineers*

EXISTING CONDITIONS PLAN

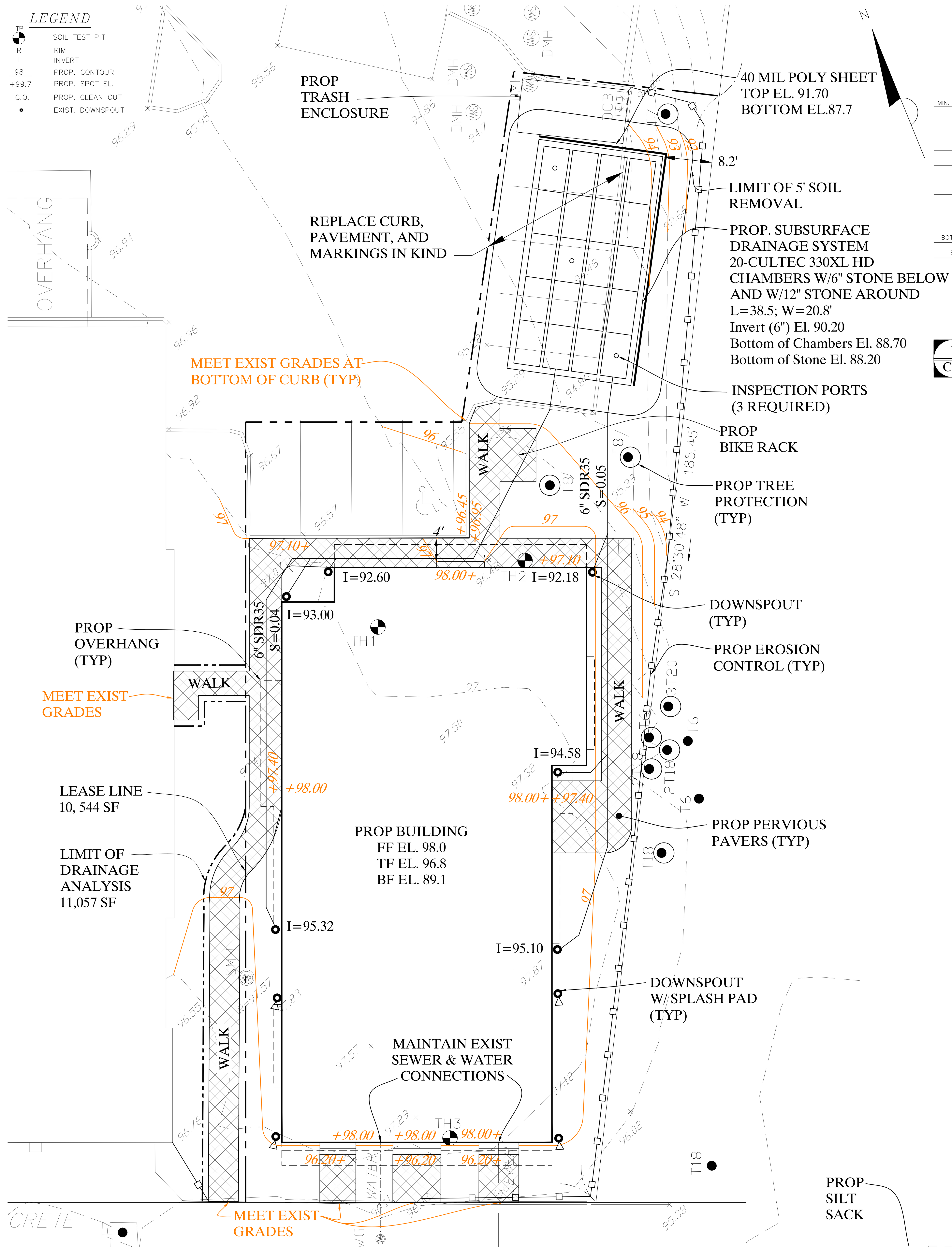
821 MASSACHUSETTS AVENUE
ARLINGTON, MASSACHUSETTS

Job No. 2422	Date: 9/6/2024
Drawn By: AG	Scale: AS SHOWN

Rev#	Date:	Description:

COMMONWEALTH OF MASSACHUSETTS ALBERTO GALA No. 38184 REGISTERED PROFESSIONAL ENGINEER

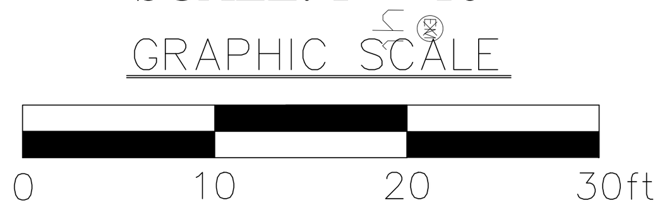
C–01

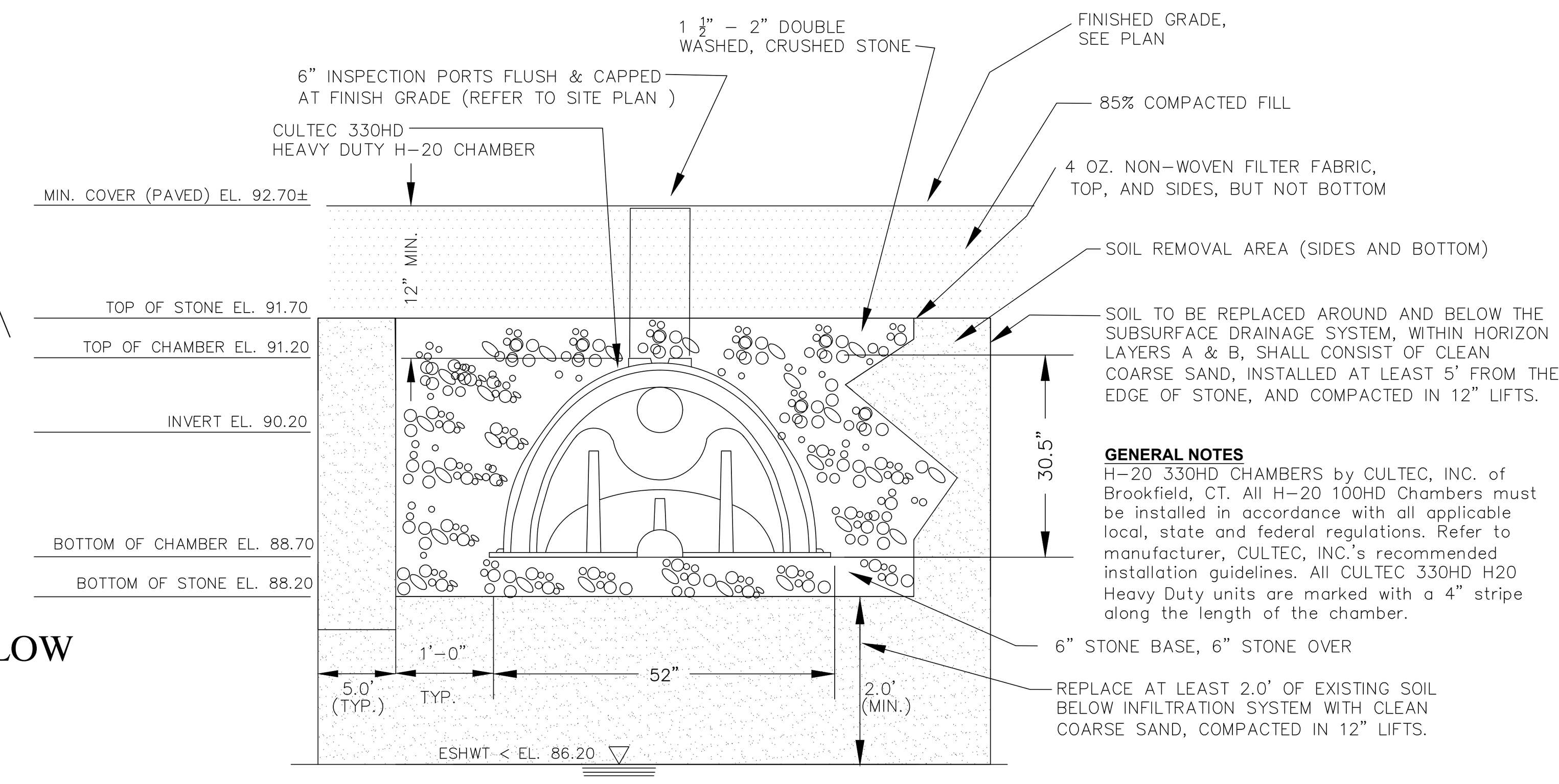


SITE PLAN

SCALE: 1" = 10'

GRAPHIC SCALE

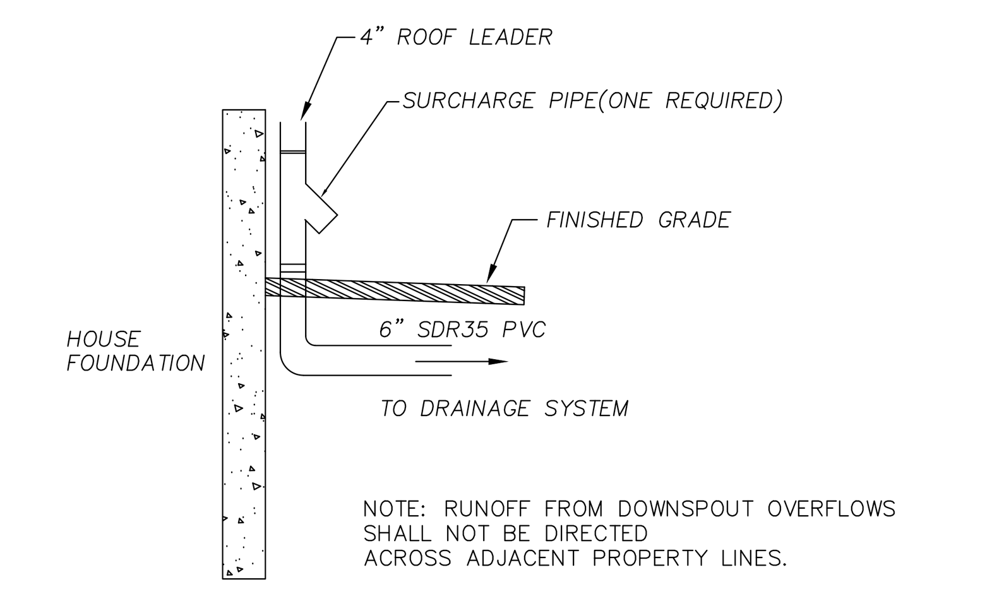




1 C-1 H-20 CULTEC 330XL HD CHAMBER SYSTEM

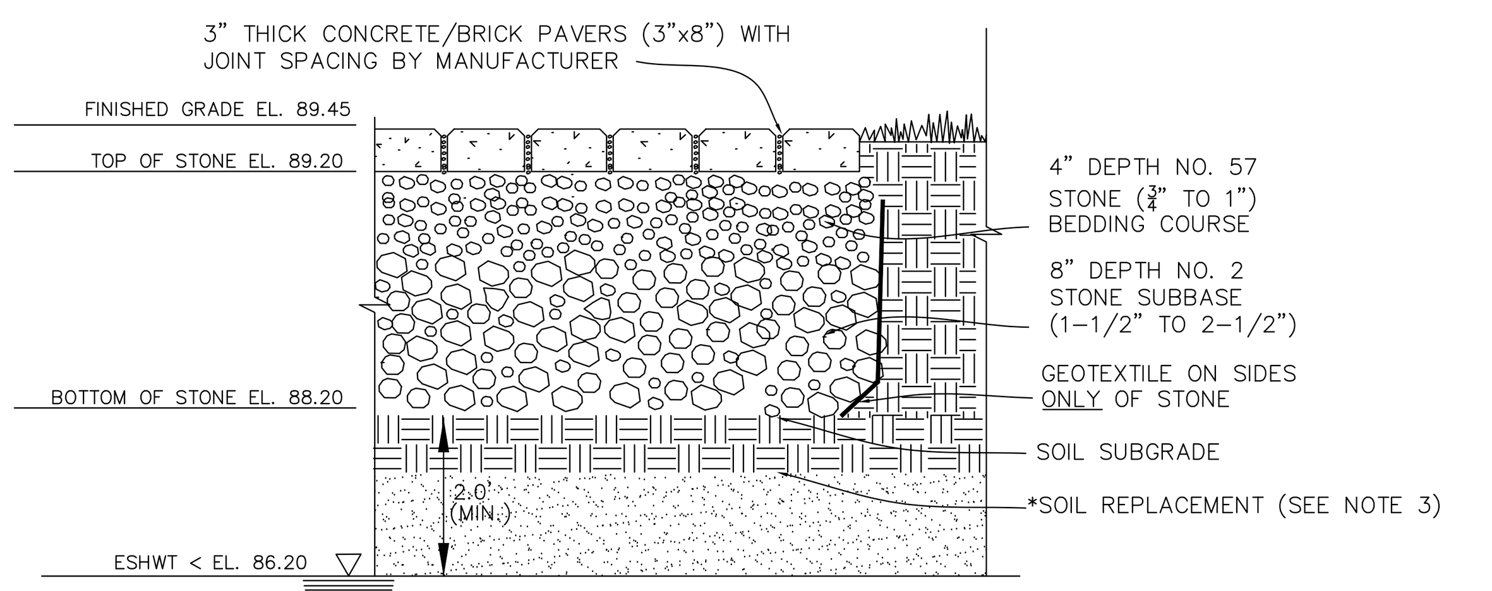
SCALE: NTS

NOTE: CONTRACTOR IS TO CONTACT SURVEYOR TO VERIFY LOCATION AND ELEVATION OF DRAINAGE SYSTEMS PRIOR TO BACKFILLING



2 C-1 ROOF LEADER W/DOWN SPOUT

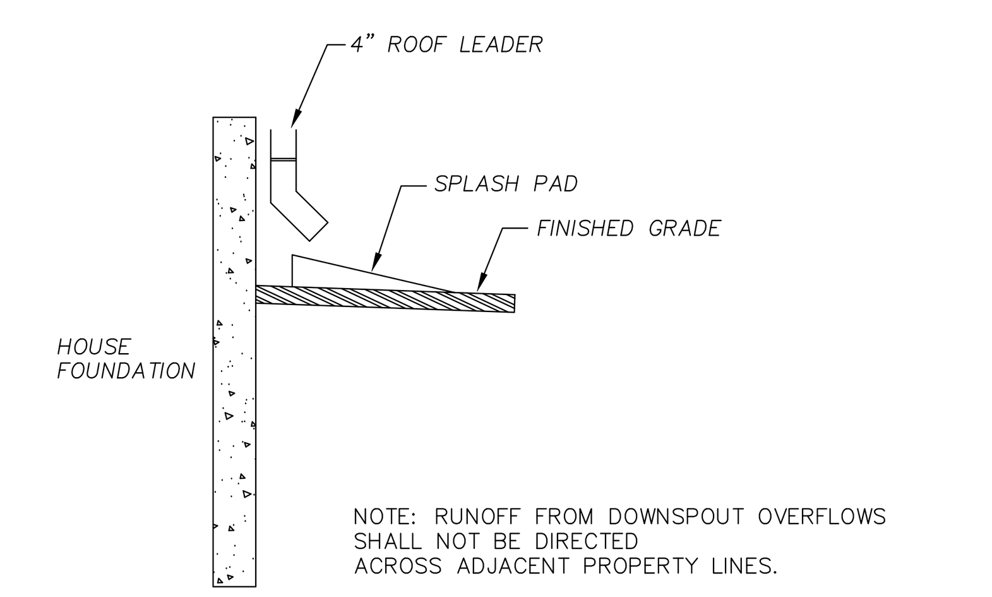
SCALE: NTS



NOTES:
1. ALL STONE TO BE DOUBLE WASHED AND FREE OF FINES.
2. ALL STONE TO BE SET LEVEL TO SUBGRADE. ADDITIONAL STONE DEPTH MAY BE REQUIRED ON HIGH SIDE OF GRADE.
3. REPLACE AT LEAST 2.0' OF EXISTING SOIL BELOW PAVERS WITH CLEAN COARSE SAND, COMPACTED IN 12" LIFTS.

3 C-1 CONCRETE/BRICK PERMEABLE PAVERS

SCALE: NTS (WALKS)



4 C-1 ROOF LEADER W/SPLASH PAD

SCALE: NTS

NOT FOR CONSTRUCTION

Gala Simon Associates Inc.
394 LOWELL STREET, SUITE 18
LEXINGTON, MA 02420
Tel: (781) 676-2962
GSA
Gala Simon Associates
Civil Engineers

PROPOSED CONDITIONS DRAINAGE PLAN

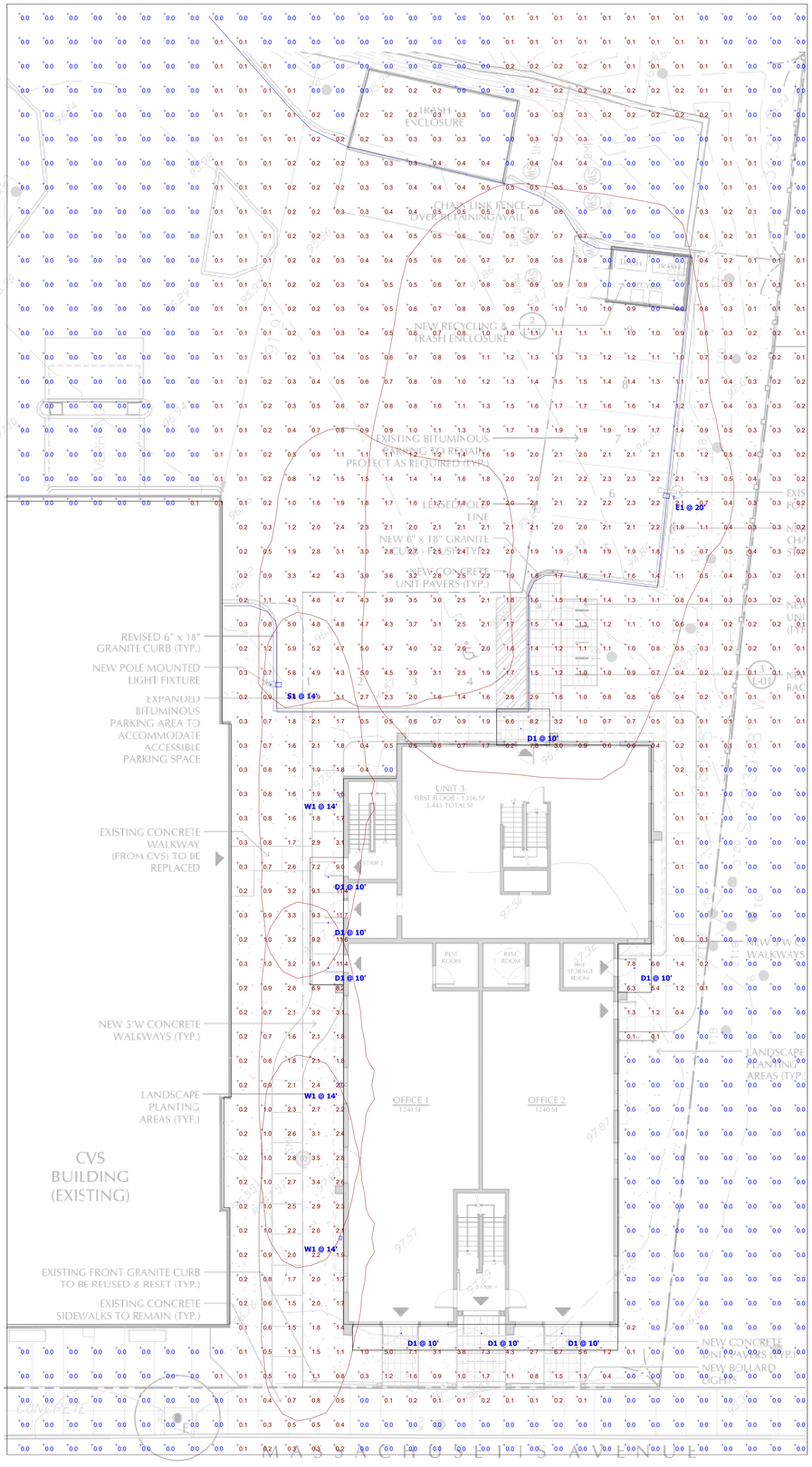
821 MASSACHUSETTS AVENUE
ARLINGTON, MASSACHUSETTS

Job No. 2422	Date: 9/6/2024
Drawn By: AG	Scale: AS SHOWN

Rev#	Date:	Description:

COMMONWEALTH OF MASSACHUSETTS ALBERTO M. GALA CIVIL No. 39534 REGISTERED PROFESSIONAL ENGINEER

C-02

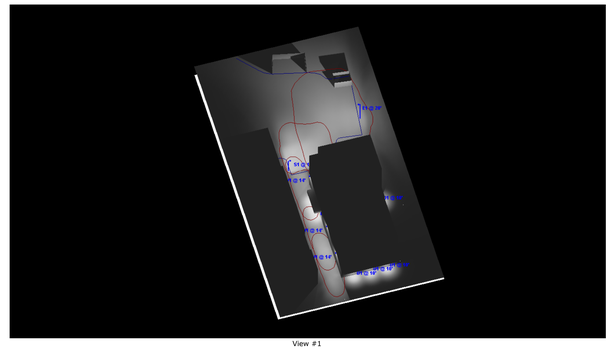


Plan View
Scale - 1/8" = 1ft

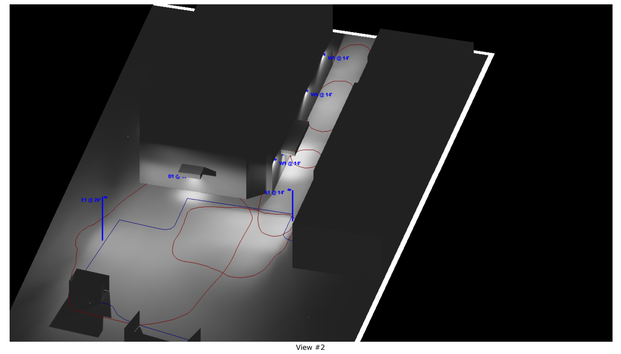
Lithonia DSX0 Series

DISCLAIMER:

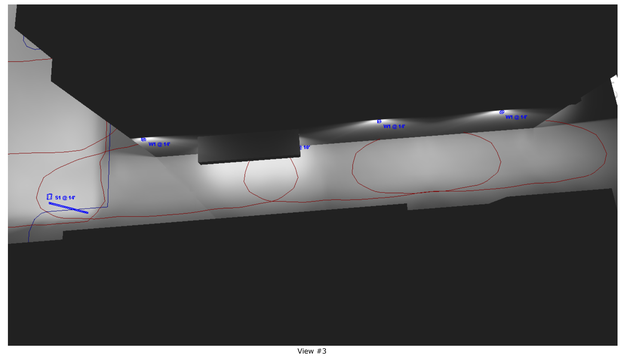
-THESE DRAWINGS ARE FOR CONCEPTUAL PURPOSES ONLY
AND ARE NOT INTENDED FOR CONSTRUCTION. VALUES REPRESENTED ARE AN APPROXIMATION GENERATED FROM MANUFACTURERS PHOTOMETRIC IN-HOUSE OR INDEPENDANT LAB TEST WITH DATA SUPPLIED BY LAMP MANUFACTURERS.



View #1



View #2



View #3

NOTES:

- Fixture Mounting Height:
  - E1 @ 20'
  - S1 @ 14'
  - S2 @ 3'
  - W1 @ 12'
  - D1 @ 10'

- Task Height: 0'-0" AFF

- Calculation Point Spacing: 4' x 4' oc

SCHEDULE

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Light Loss Factor	Wattage
	D1	8	Gotham	EVO2 40/07 AR LSS ND GZ10	Recessed 2" diameter LED downlight	0.9	9.6842
	E1	1	Lithonia	DSX0 LED P4 30K 80CRI T4M HS (assumed)	Existing Single head area light mounted at 20'	0.9	93.04
	S1	1	Lithonia	DSX0 LED P2 40K 80CRI RCCO	New Pole Mounted full cutoff area light with sharp right angle cutoff mounted at 14'	0.9	45.14
	W1	3	Lithonia	WDGE2 LED P3 40K 80CRI T1S	New Wall Mounted full cutoff wall pack with Type I optics	0.5	32.1375

821 Massachusetts Ave
Arlington, MA
Exterior Lighting Calculation

Designer
THF
Date
07/29/2024
Scale
Not to Scale
Drawing No.

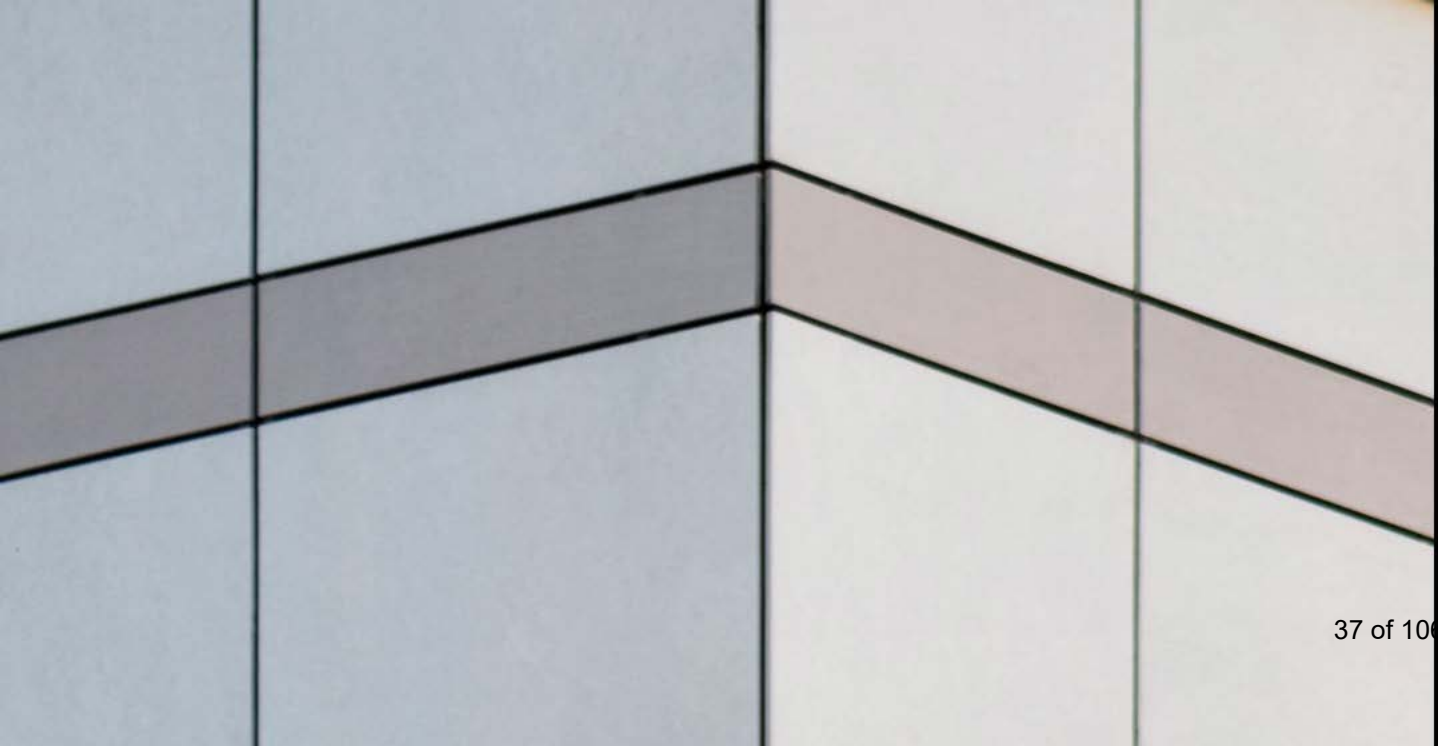
Summary

1 of 1

Concealed fixing solution TUF-S

Secure and easy attachment of fibre cement panels

EQUITONE
Fibre cement facade materials



Concealed solution and quick to install TUF-S

50% less installation time
The TUF-S blind fastener from SFS is superior to previous approaches to the attachment of fibre cement cladding panels with regards to installation and long-term security.

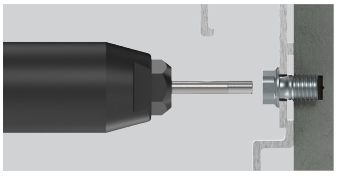
Installation is performed quickly and securely by one person, without the use of special tools. Installation time is also reduced by up to 50% when compared to conventional blind attachments. The TUF-S blind fastener can be removed if required.

Easy
- No complex undercut hole required – simple standard hole sufficient
- No special tools to install required
- Holes can even be drilled on site
- Quick and easy installation with the battery riveting tool from GESIPA® (e.g. PowerBird® Pro)

Secure
- No overtorquing of the TUF-S
- High pullout values with the installed thread
- No unwinding
- Removable possible via hex head

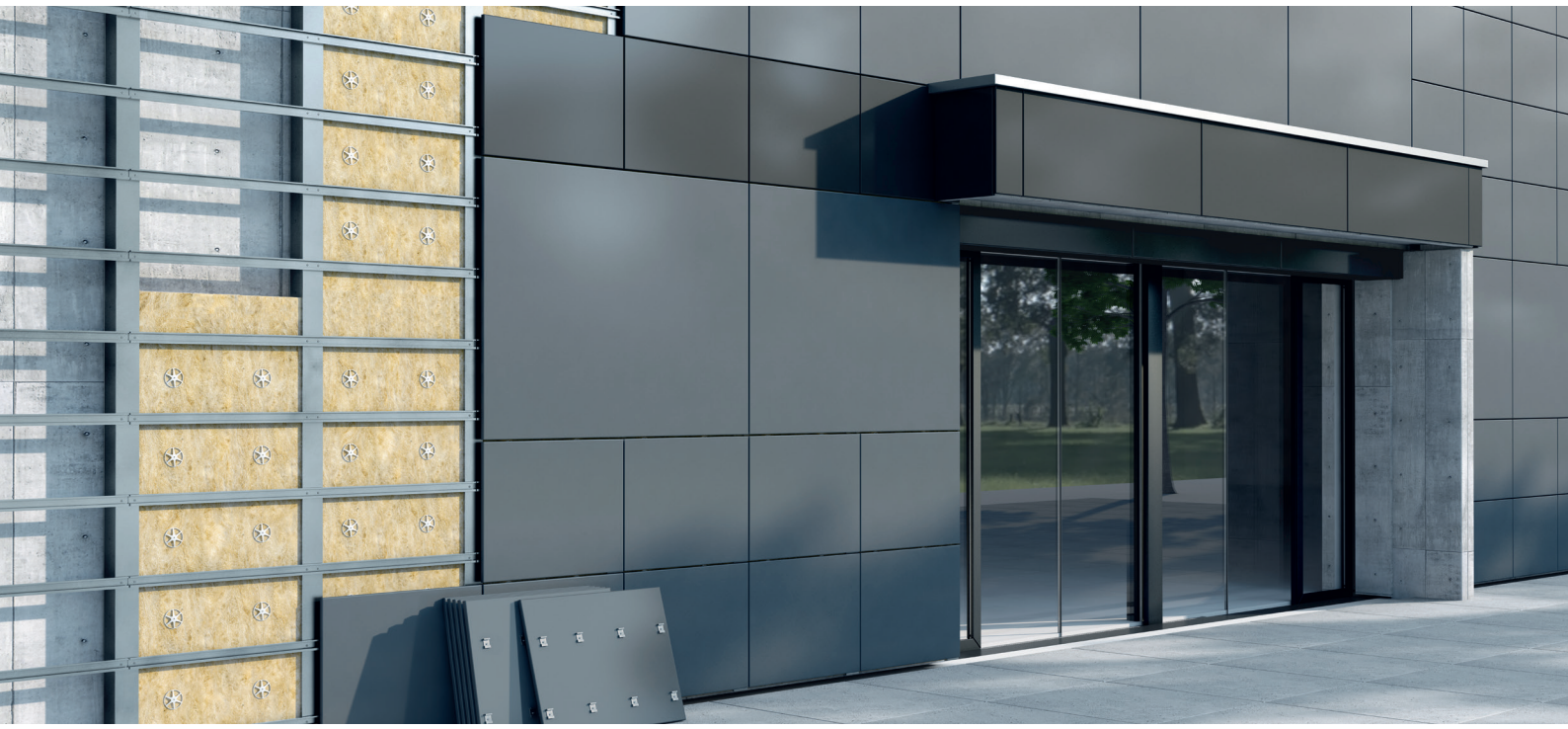
1. Pre-drill using a Ø 6 mm VHM blind-hole drill with depth-stop

2. Position the pre-drilled hanger over the hole in the panel and push through the TUF-S blind fastener



3. Remove the mandrel using a GESIPA® battery riveting tool combined with nose piece 17/36 or 17/40

Designed for use with fibre cement panels



Optimum security
In addition to an easy and timesaving installation, the TUF-S is a secure solution. The fastener cannot be overdriven during installation. Due to its radial expansion when the mandrel is removed, the partially cut thread becomes wedged in the panel material, generating very high pullout values.

Spontaneous slackening due to expansion or vibration is not possible. The sleeve is made of austenitic stainless steel (material DIN 1.4401, grade A4).

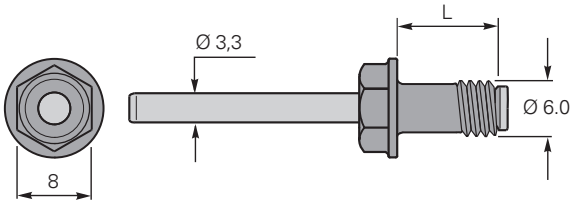
	Panel thickness [mm]	Drill depth [mm]	Nvelope hanger [mm]	**TUF-S**	Drill bit
Linea	8	5.0	3.5	TUF-S-6x8,5-A4	VHM-6,0x40
	8	5.5	3.5	TUF-S-6x9-A4	VHM-6,0x40,5
Materia	8	5.5	3.5	TUF-S-6x9-A4	VHM-6,0x40,5
	12	8.5	3.5	TUF-S-6x12-A4	VHM-6,0x43,5
Natura	8	5.5	3.5	TUF-S-6x9-A4	VHM-6,0x40,5
	12	8.5	3.5	TUF-S-6x12-A4	VHM-6,0x43,5
Pictura	8	5.5	3.5	TUF-S-6x9-A4	VHM-6,0x40,5
	12	8.5	3.5	TUF-S-6x12-A4	VHM-6,0x43,5
Tectiva	8	5.0	3.5	TUF-S-6x8,5-A4	VHM-6,0x40
	8	5.5	3.5	TUF-S-6x9-A4	VHM-6,0x40,5

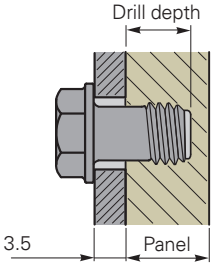
Use the drill bits with the SFS depth locator universal

Depth locator universal with Ø 6mm VHM drill bit

Screw gun

Scan and watch video!

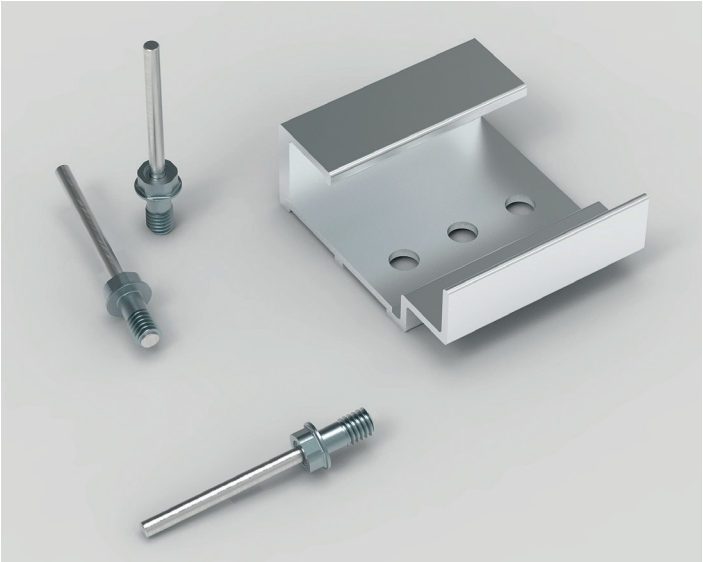




NV3 Hanger

GESIPA® battery riveting tool

Adjusted NV3 hanger for TUF-S



SFS intec AG
Division Construction
Rosenbergsaustrasse 20
CH-9435 Heerbrugg

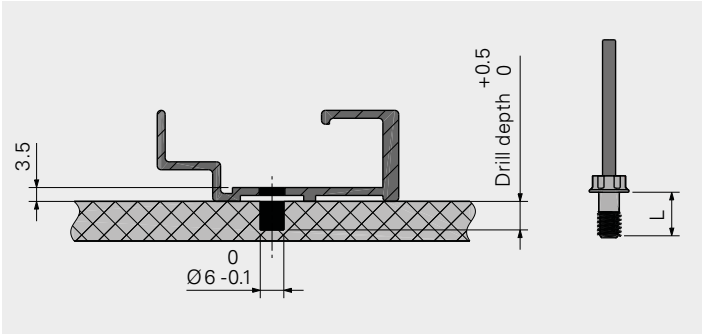
construction@sfs.biz
www.sfs.biz

TUF-S

EQUITONE
Fibre cement facade materials

1. Pre-drill the panel

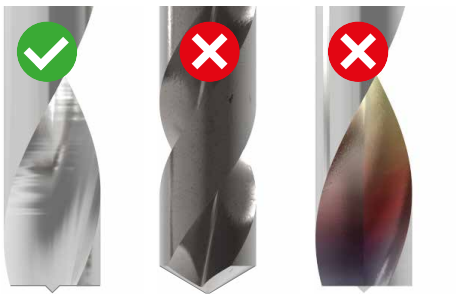
Pre-drill a Ø 6.0 mm blind-hole using a milling cutter or a SFS drill bit combined with the SFS depth locator universal



The geometry of the drill hole shall be checked minimum on 1% of all drillings. **Nominal measure: Ø 5.9 – 6.0 mm**
(Can be measured with a vernier caliper)

For CNC milling, a milling cutter Ø 6.0 mm with tolerance h6 is recommended

1.1 **1.2** **1.3**

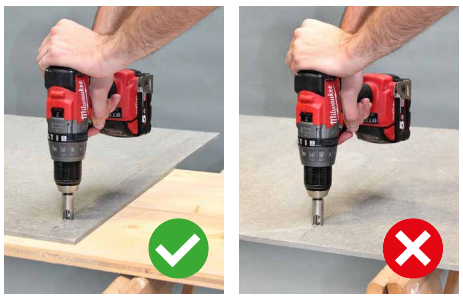


1.1
Use a blind-hole drill bit

1.2
Do not use a drill bit with a point angle

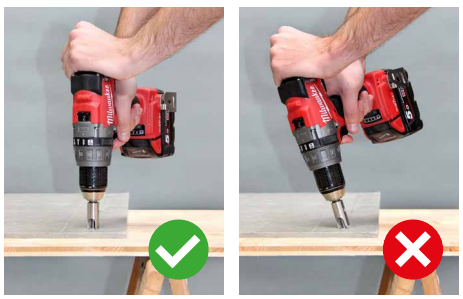
1.3
Do not use a worn-out drill bit

1.4



1.4
Panel must lie on a hard surface and be fully supported

1.5



1.5
Keep a right angle during the drill process

	Panel thickness [mm]	Drill depth [mm]	Nvelope hanger [mm]	**TUF-S**	Drill bit
Linea	8	5.0	3.5	TUF-S-6x8,5-A4	VHM-6,0x40
	8	5.5	3.5	TUF-S-6x9-A4	VHM-6,0x40,5
Materia	8	5.5	3.5	TUF-S-6x9-A4	VHM-6,0x40,5
	12	8.5	3.5	TUF-S-6x12-A4	VHM-6,0x43,5
Natura	8	5.5	3.5	TUF-S-6x9-A4	VHM-6,0x40,5
	12	8.5	3.5	TUF-S-6x12-A4	VHM-6,0x43,5
Pictura	8	5.5	3.5	TUF-S-6x9-A4	VHM-6,0x40,5
	12	8.5	3.5	TUF-S-6x12-A4	VHM-6,0x43,5
Tectiva	8	5.0	3.5	TUF-S-6x8,5-A4	VHM-6,0x40
	8	5.5	3.5	TUF-S-6x9-A4	VHM-6,0x40,5

Use the drill bits with the SFS depth locator universal

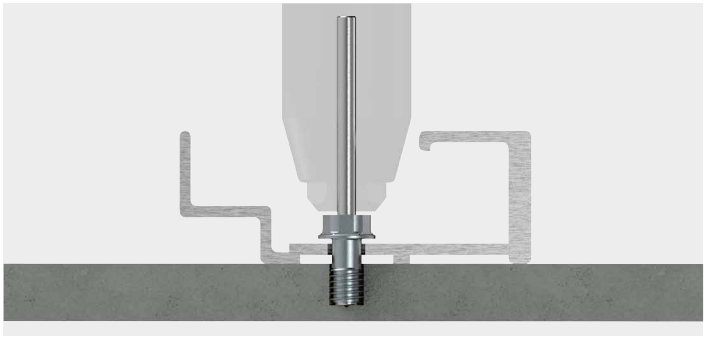
Life expectancy for SFS VHM drill bits: approx. 500 drills

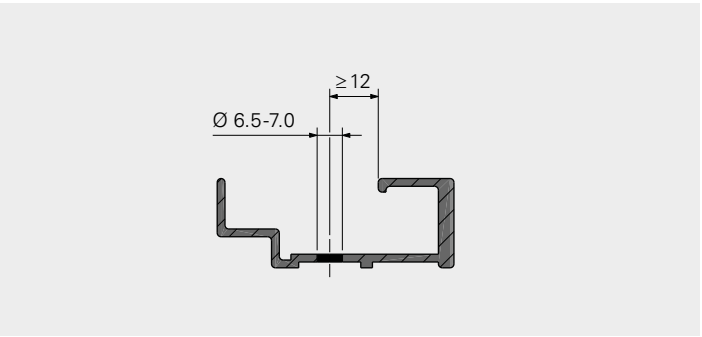
1.6

1.6
Remove debris from drill hole

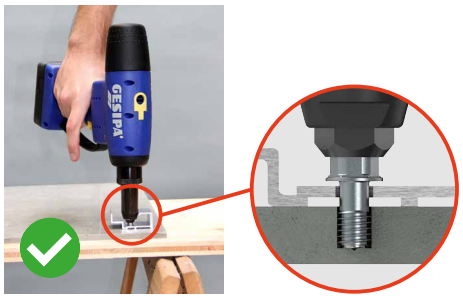
2. Position the hanger

Position the pre-drilled hanger over the hole in the panel and push through the TUF-S



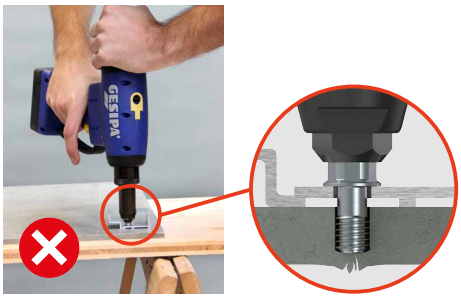


2.2



2.2
Before setting there can be a small gap between the TUF-S head and hanger

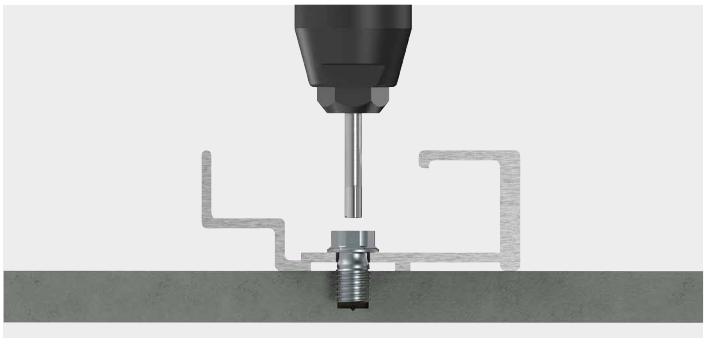
2.3

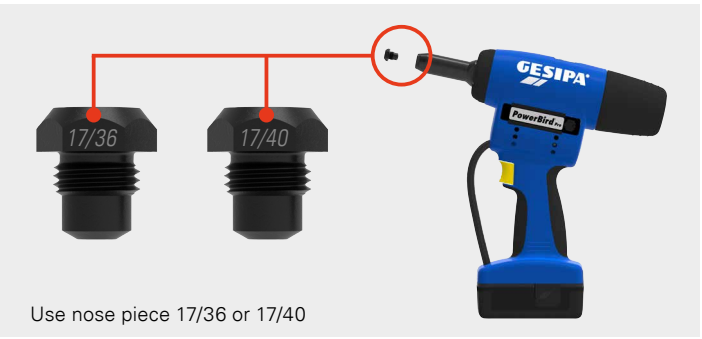


2.3
Do not apply force to the TUF-S before setting as this may cause damage to the panel face

3. Remove mandrel

Remove the mandrel using a battery riveting tool from GESIPA®
(e.g. PowerBird® Pro)



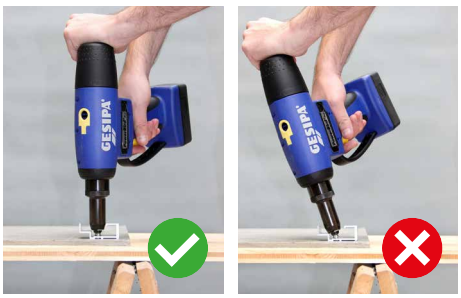


Use nose piece 17/36 or 17/40

3.1

3.1
Panel must lie on a hard surface and be fully supported

3.2



3.2
Keep a right angle during the setting process

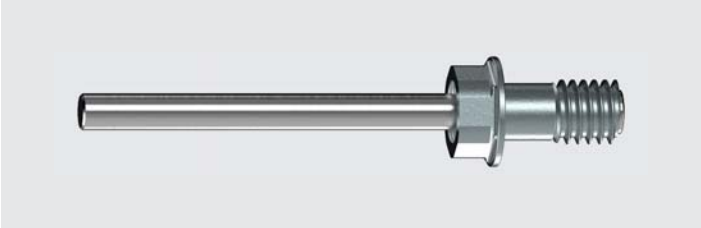
Apply positive pressure to the GESIPA® battery riveting tool towards the panel during mandrel removal

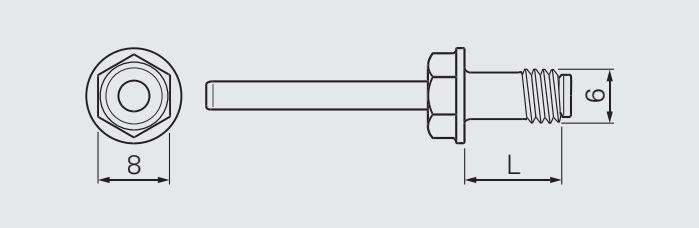
SFS intec AG
Division Construction
Rosenbergsaustrasse 20
CH-9435 Heerbrugg

construction@sfs.biz
www.sfs.biz

TUF-S-6xL

Eternit Equitone Linea



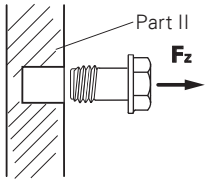


Specification TUF-S
Mandrel: Carbon steel zinced
Sleeve: Stainless steel A4, Material number 1.4401, AISI 316

Predrilling instructions
Ø panel = 6 mm to create with special SFS drill bit
Ø bracket = 6.5 - 7.0 mm
TUF-S-6x**L** = Embedment + Bracket

Pull-out load F_z

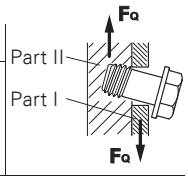
Part II (blind side)					Test results (N)	
Material	t_{II}	Embedment	TUF-S per bracket	TUF-S distance	$F_{z,avg}$	s
Equitone Linea	8 mm	5 mm	2x	20 mm	1079	36
	8 mm	5 mm	2x	30 mm	1252	92
	8 mm	5.5 mm	2x	20 mm	1216	70
	8 mm	5.5 mm	2x	40 mm	1258	112



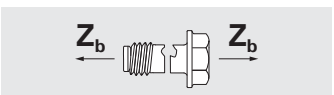
Remarks: Support ring-Ø 135 mm

Shear load F_Q

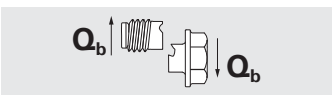
Part II (blind side)			Part I (setting side)				Test results (N)		
Material	t_{II}	Embedment	Grade	t_I	L	TUF-S per bracket	TUF-S distance	$F_{Q,avg}$	s
Equitone Linea	8 mm	5 mm	AlMg3	4 mm	9 mm	2x	20 mm	4900	290
	8 mm	5.5 mm	AlMg3	3.5 mm	9 mm	2x	20 mm	5201	293



Remarks: $F_{Q,avg}$ is measured after a bracket displacement of max 3 mm



Tensile breaking load Z_b (N)
$Z_b \geq 8{,}780$ N



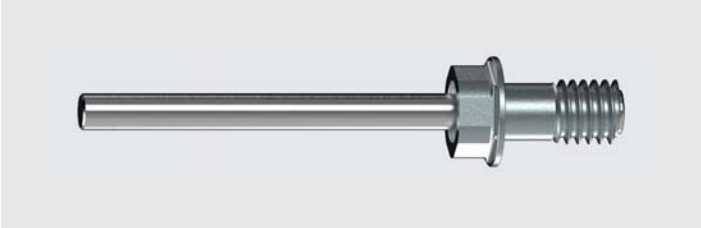
Shear breaking load Q_b (N)
$Q_b \geq 6{,}530$ N

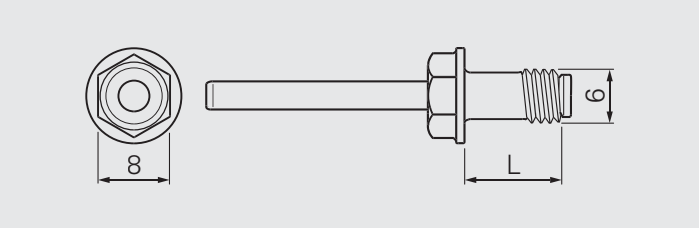
www.tuf-s.biz

SFS intec AG
Division Construction
Rosenbergsaustrasse 20
9435 Heerbrugg
construction@sfsintec.biz
www.sfsintec.biz

TUF-S-6xL

Eternit Equitone Materia



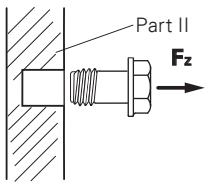


Specification TUF-S
Mandrel: Carbon steel zinced
Sleeve: Stainless steel A4, Material number 1.4401, AISI 316

Predrilling instructions
Ø panel = 6 mm to create with special SFS drill bit
Ø bracket = 6.5 - 7.0 mm
TUF-S-6x**L** = Embedment + Bracket

Pull-out load F_z

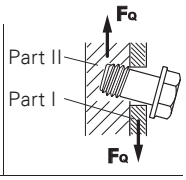
Part II (blind side)					Test results (N)	
Material	t_{II}	Embedment	TUF-S per bracket	TUF-S distance	$F_{z,avg}$	s
Equitone Materia	8 mm	5.5 mm	2x	20 mm	1112	36
	8 mm	5.5 mm	2x	40 mm	1232	64



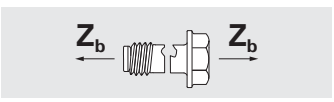
Remarks: Support ring-Ø 135 mm

Shear load F_Q

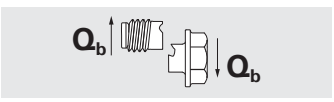
Part II (blind side)			Part I (setting side)					Test results (N)	
Material	t_{II}	Embedment	Grade	t_I	L	TUF-S per bracket	TUF-S distance	$F_{Q,avg}$	s
Equitone Materia	8 mm	5.5 mm	AlMgSi1	3.5 mm	9 mm	2x	20 mm	4183	487



Remarks: $F_{Q,avg}$ is measured after a bracket displacement of max 3 mm



Tensile breaking load Z_b (N)
$Z_b \geq 8{,}780$ N



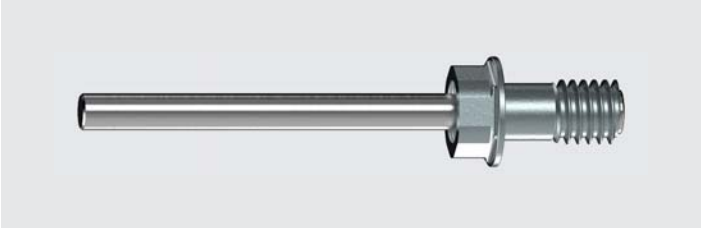
Shear breaking load Q_b (N)
$Q_b \geq 6{,}530$ N

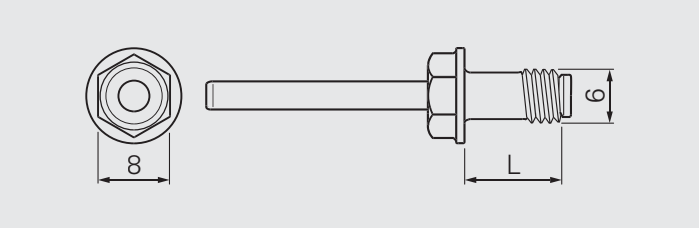
www.tuf-s.biz

SFS intec AG
Division Construction
Rosenbergsaustrasse 20
9435 Heerbrugg
construction@sfsintec.biz
www.sfsintec.biz

TUF-S-6xL

Eternit Equitone Natura



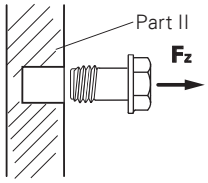


Specification TUF-S
Mandrel: Carbon steel zinced
Sleeve: Stainless steel A4, Material number 1.4401, AISI 316

Predrilling instructions
Ø panel = 6 mm to create with special SFS drill bit
Ø bracket = 6.5 - 7.0 mm
TUF-S-6x**L** = Embedment + Bracket

Pull-out load F_z

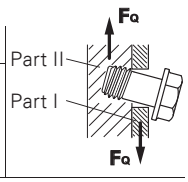
Part II (blind side)					Test results (N)	
Material	t_{II}	Embedment	TUF-S per bracket	TUF-S distance	$F_{z,avg}$	s
Equitone Natura	8 mm	5.5 mm	2x	20 mm	1085	84
	12 mm	8.5 mm	1x	–	1548	64
	12 mm	8.5 mm	2x	20 mm	2138	145



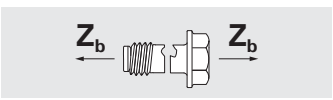
Remarks: Support ring-Ø 135 mm

Shear load F_Q

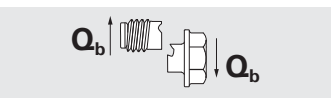
Part II (blind side)			Part I (setting side)					Test results (N)	
Material	t_{II}	Embedment	Grade	t_I	L	TUF-S per bracket	TUF-S distance	$F_{Q,avg}$	s
Equitone Natura	8 mm	5.5 mm	AlMg3	3.5 mm	9 mm	2x	20 mm	4505	255
	12 mm	8.5 mm	AlMg3	2.5 mm	11 mm	1x	–	3990	79
	12 mm	8.5 mm	AlMg3	2.5 mm	11 mm	2x	20 mm	4462	259



Remarks: $F_{Q,avg}$ is measured after a bracket displacement of max 3 mm



Tensile breaking load Z_b (N)
$Z_b \geq 8{,}780$ N



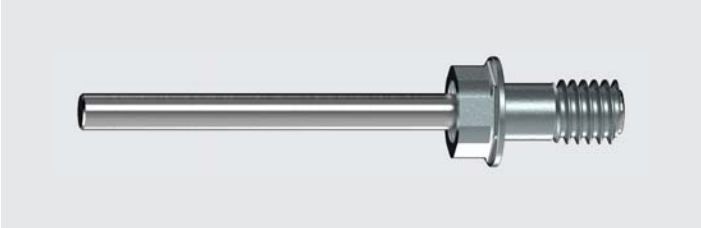
Shear breaking load Q_b (N)
$Q_b \geq 6{,}530$ N

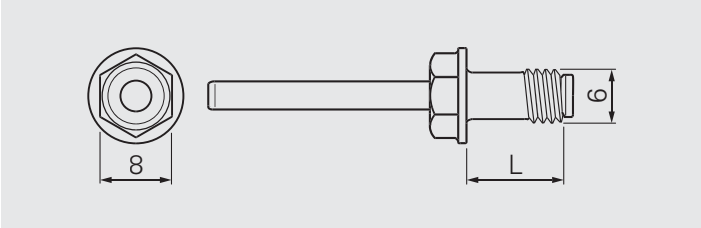
www.tuf-s.biz

SFS intec AG
Division Construction
Rosenbergsaustrasse 20
9435 Heerbrugg
construction@sfsintec.biz
www.sfsintec.biz

TUF-S-6xL

Eternit Equitone Pictura



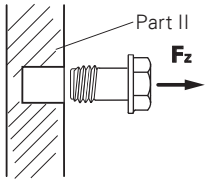


Specification TUF-S
Mandrel: Carbon steel zinced
Sleeve: Stainless steel A4, Material number 1.4401, AISI 316

Predrilling instructions
Ø panel = 6 mm to create with special SFS drill bit
Ø bracket = 6.5 - 7.0 mm
TUF-S-6x**L** = Embedment + Bracket

Pull-out load F_z

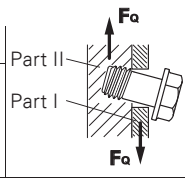
Part II (blind side)					Test results (N)	
Material	t_{II}	Embedment	TUF-S per bracket	TUF-S distance	$F_{z,avg}$	s
Equitone Pictura	8 mm	5.5 mm	2x	20 mm	1077	84
	12 mm	8.5 mm	1x	–	1548	64
	12 mm	8.5 mm	2x	20 mm	2138	145



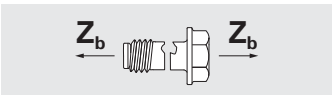
Remarks: Support ring-Ø 135 mm

Shear load F_Q

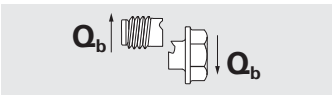
Part II (blind side)			Part I (setting side)					Test results (N)	
Material	t_{II}	Embedment	Grade	t_I	L	TUF-S per bracket	TUF-S distance	$F_{Q,avg}$	s
Equitone Pictura	8 mm	5.5 mm	AlMg3	3.5 mm	9 mm	20 mm	2x	4102	167
	12 mm	8.5 mm	AlMg3	2.5 mm	11 mm	–	1x	3990	79
	12 mm	8.5 mm	AlMg3	2.5 mm	11 mm	20 mm	2x	4462	259



Remarks: $F_{Q,avg}$ is measured after a bracket displacement of max 3 mm



Tensile breaking load Z_b (N)
$Z_b \geq 8{,}780$ N



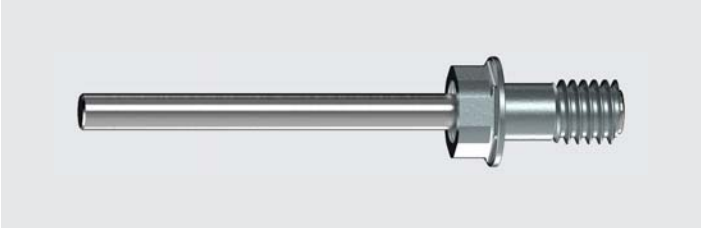
Shear breaking load Q_b (N)
$Q_b \geq 6{,}530$ N

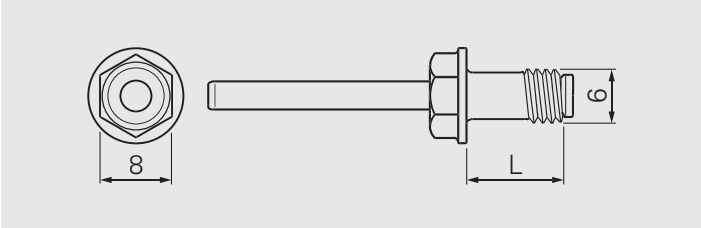
www.tuf-s.biz

SFS intec AG
Division Construction
Rosenbergsaustrasse 20
9435 Heerbrugg
construction@sfsintec.biz
www.sfsintec.biz

TUF-S-6xL

Eternit Equitone Tectiva



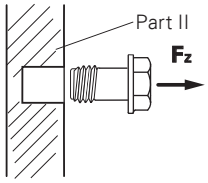


Specification TUF-S
Mandrel: Carbon steel zinced
Sleeve: Stainless steel A4, Material number 1.4401, AISI 316

Predrilling instructions
Ø panel = 6 mm to create with special SFS drill bit
Ø bracket = 6.5 - 7.0 mm
TUF-S-6x**L** = Embedment + Bracket

Pull-out load F_z

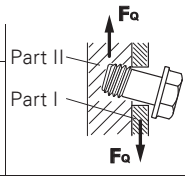
Part II (blind side)					Test results (N)	
Material	t_{II}	Embedment	TUF-S per bracket	TUF-S distance	$F_{z,avg}$	s
Equitone Tectiva	8 mm	5 mm	2x	20 mm	1159	106
	8 mm	5 mm	2x	30 mm	1296	94
	8 mm	5.5 mm	2x	20 mm	1414	59
	8 mm	5.5 mm	2x	40 mm	1612	189



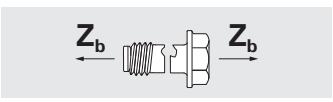
Remarks: Support ring-Ø 135 mm

Shear load F_Q

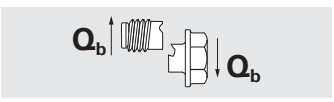
Part II (blind side)			Part I (setting side)			TUF-S	TUF-S	Test results (N)	
Material	t_{II}	Embedment	Grade	t_I	L	per bracket	distance	$F_{Q,avg}$	s
Equitone Tectiva	8 mm	5 mm	AlMg3	4 mm	9 mm	2x	20 mm	4600	250
	8 mm	5.5 mm	AlMg3	3.5 mm	9 mm	2x	20 mm	4923	249



Remarks: $F_{Q,avg}$ is measured after a bracket displacement of max 3 mm



Tensile breaking load Z_b (N)
$Z_b \geq 8{,}780$ N

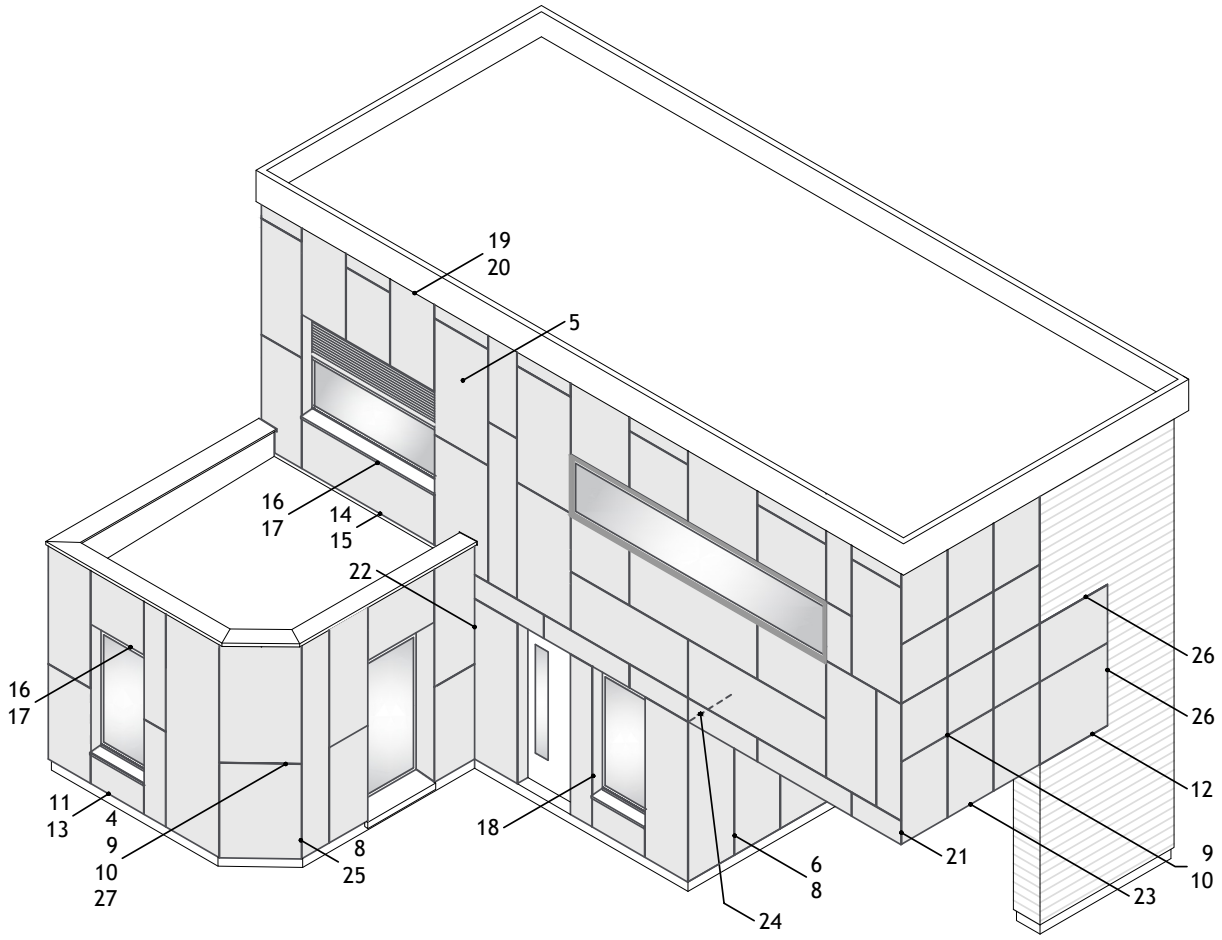


Shear breaking load Q_b (N)
$Q_b \geq 6{,}530$ N

www.tuf-s.biz

SFS intec AG
Division Construction
Rosenbergsaustrasse 20
9435 Heerbrugg
construction@sfsintec.biz
www.sfsintec.biz

EQUITONE Concealed Fastener Using Vertical Girt Systems on Steel Stud Construction Details

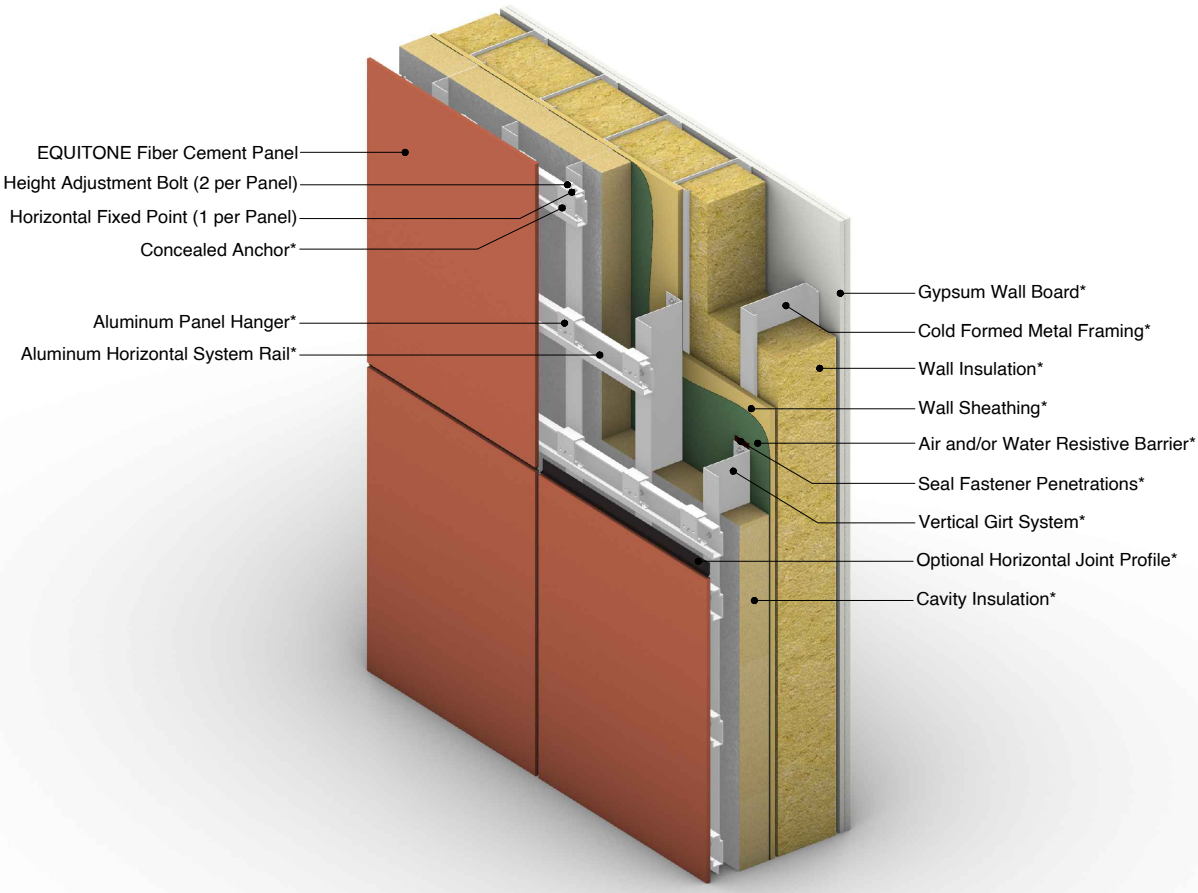


Note: The detail numbers above correspond to the following index and pages of this detail book.

DISCLAIMER: These details are provided as a guideline for proper panel and associated component installation, and are based on industry accepted practices. Location of vapor barriers, insulation, and associated flashings and sealants in these details are based on ventilated rainscreen design practices for most U.S climatic Zones. (Primary vapor placed on the “warm” side of the insulation layer. Contact EQUITONE technical services for specific projects located in areas in extreme climate zones that may require modifications to these details. All structural and subframe supports are not by EQUITONE are shown to ensure TZ the contents of this publication are accurate, ETEX, SA/NV Group, and subsidiary companies do not accept responsibility for errors or for information, TZ is Found to be misleading. Suggestions for, or description of, the end use of application of products or methods of working are for information only and ETEX, SA/NV limited and its subsidiaries accept no liability in respect thereof.

EQUITONE CONCEALED FASTENER USING VERTICAL GIRT SYSTEMS ON STEEL STUD CONSTRUCTION

EQUITONE CONCEALED FASTENER USING VERTICAL GIRT SYSTEMS ON STEEL STUD CONSTRUCTION



NOTE: THE DETAIL NUMBER ON EACH SHEET CORRESPONDS TO THE INDEX AND PAGE OF THE DETAIL BOOK

EQUITONE

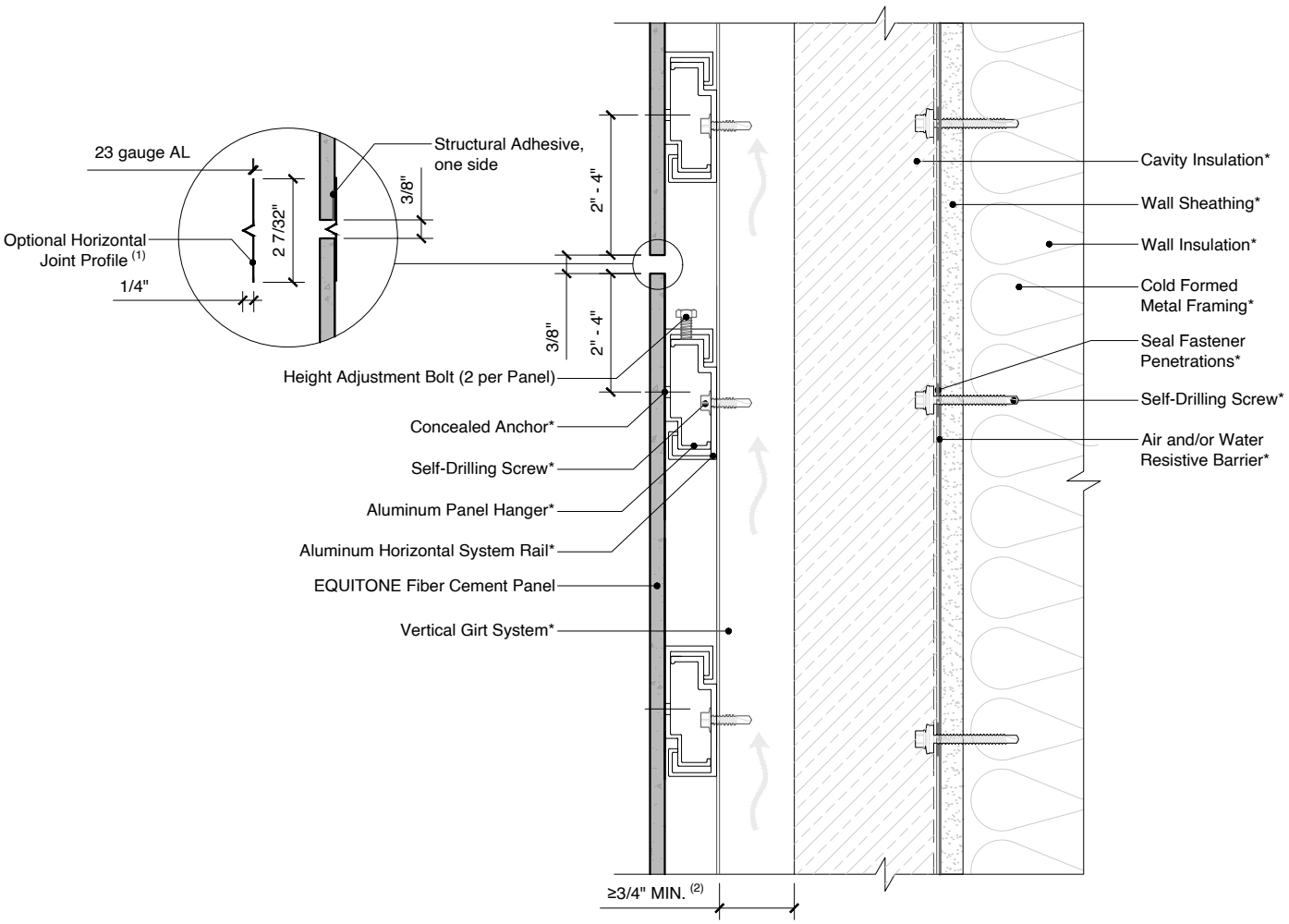
RELEASE: 202411

REGION: NORTH AMERICA

WWW.EQUITONE.COM

3D ASSEMBLY DETAIL

EQUITONE CONCEALED FASTENER USING VERTICAL GIRT SYSTEMS ON STEEL STUD CONSTRUCTION



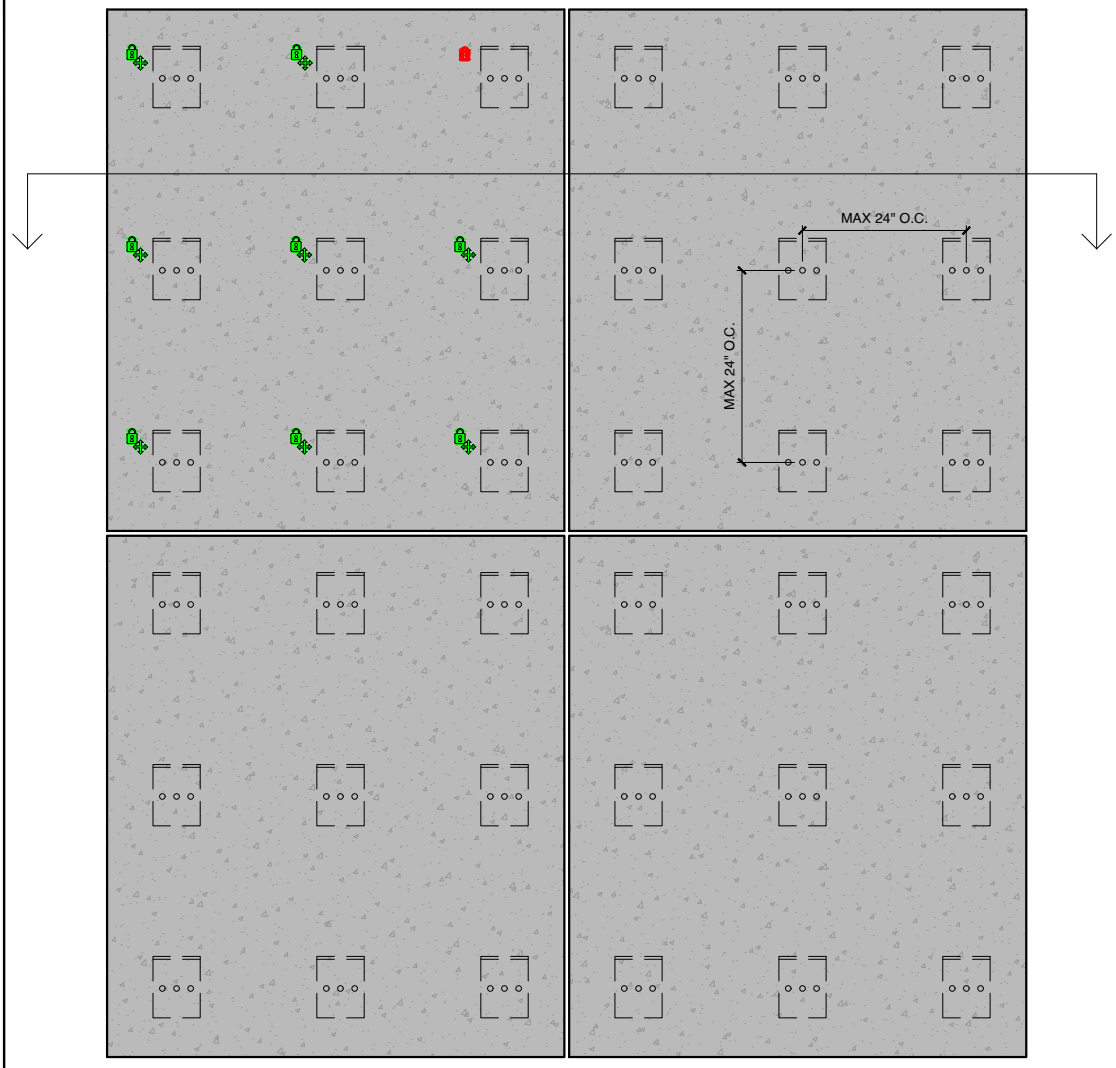
NOTES:
1. Flashing used to close the joints may not be thicker as 1/32 in (23 gauge), including the thickness of any fastener heads. Closing the horizontal joints may require additional ventilation allowances.
2. Inlet/Outlet, air cavity, and closure perforation sizing should be modified, from those expressed herein, depending upon building height and/or local legislation. Visit the Planning and Application Guide - Face Fixing to Metal for additional information.
3. (*) symbol represents materials not supplied by EQUITONE.

EQUITONE

DETAIL #: EQ-CF-VG-SS-FS
RELEASE: 202411
REGION: NORTH AMERICA
WWW.EQUITONE.COM

RELATION BETWEEN FIXED AND SLIDING POINTS

EQUITONE CONCEALED FASTENER USING VERTICAL GIRT SYSTEMS ON STEEL STUD CONSTRUCTION

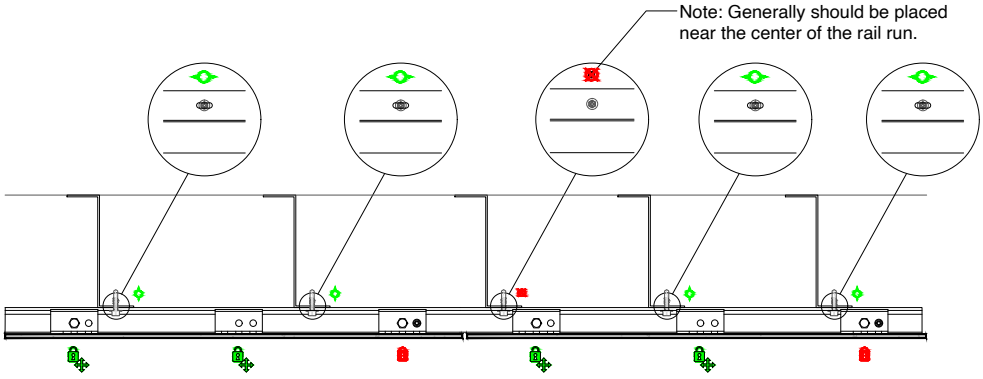


Concealed System Fixed Point

Subframing Fixed Point

Concealed System Sliding Point

Subframing Sliding Point



NOTES:

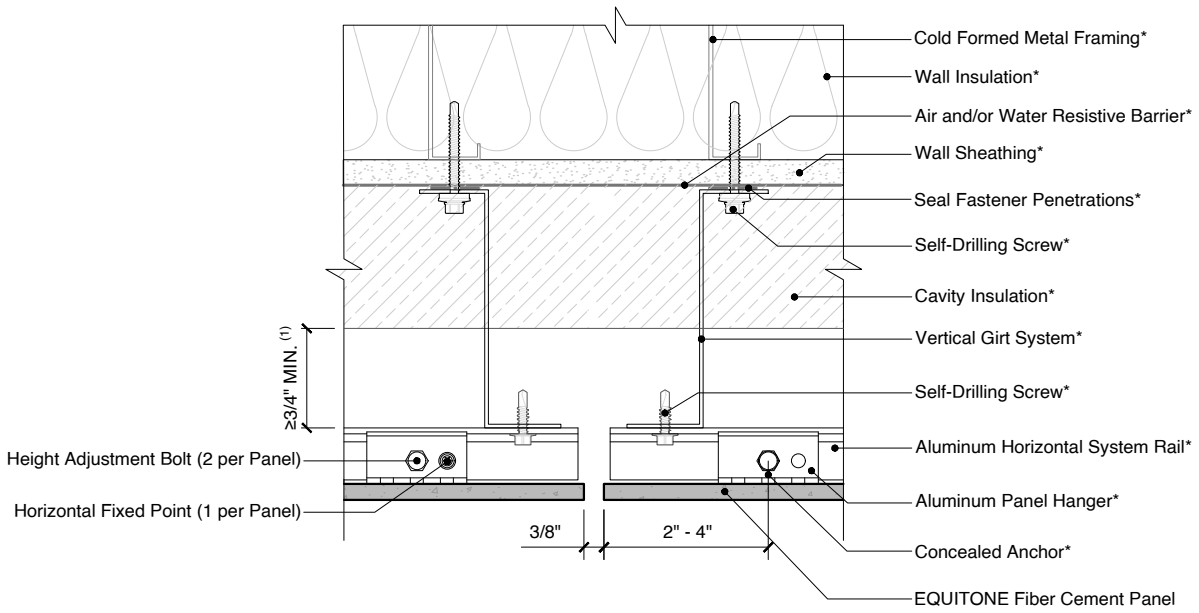
1. The following is a representation of the importance of allowing the sub-framing system to expand and contract in addition to the movement within the fixing systems. These are general guidelines and do not encompass all situations.
2. Recommend maximum rail lengths to be 10'-0".

EQUITONE

DETAIL #: EQ-CF-VG-SS-SUB
RELEASE: 202411
REGION: NORTH AMERICA
WWW.EQUITONE.COM

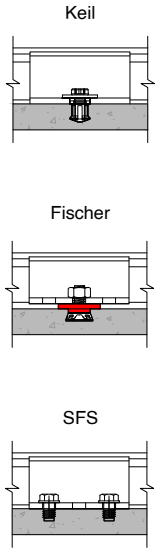
RELATION BETWEEN SUB-FRAMING AND PANEL EXPANSION POINTS

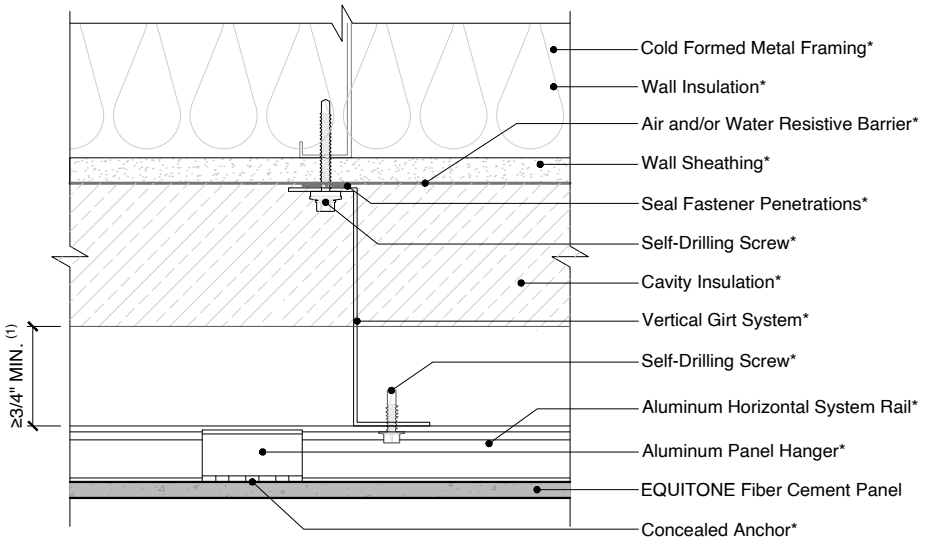
EQUITONE CONCEALED FASTENER USING VERTICAL GIRT SYSTEMS ON STEEL STUD CONSTRUCTION



Vertical Joint Profile

Position of Concealed Anchor*s in the Panel Hanger:





Intermediate Profile

NOTES:
1. Inlet/Outlet, air cavity, and closure perforation sizing should be modified, from those expressed herein, depending upon building height and/or local legislation. Visit the Planning and Application Guide - Face Fixing to Metal for additional information.
2. (*) symbol represents materials not supplied by EQUITONE.

EQUITONE

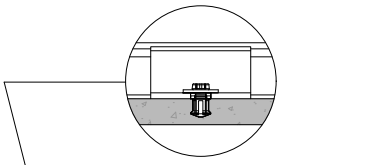
DETAIL #:	EQ-CF-VG-SS-VP
RELEASE:	202411
REGION:	NORTH AMERICA
	WWW.EQUITONE.COM

VERTICAL PROFILE DETAILS

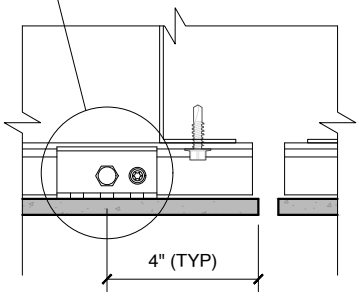
EQUITONE CONCEALED FASTENER USING VERTICAL GIRT SYSTEMS ON STEEL STUD CONSTRUCTION

Concealed Anchor Edge Distance Requirements

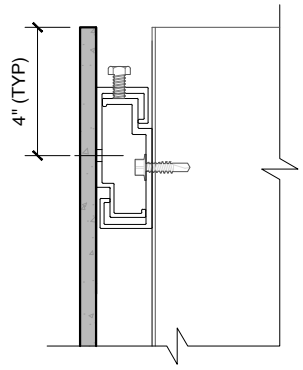
Keil



Position of Concealed Anchor in the Panel Hanger

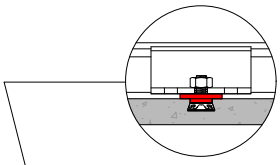


Vertical Joint Edge Distance

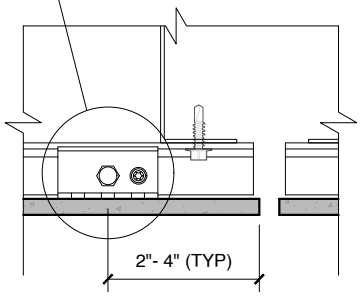


Horizontal Joint Edge Distance

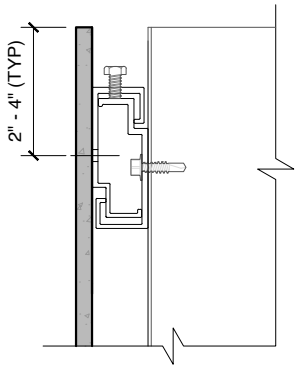
Fischer



Position of Concealed Anchor in the Panel Hanger

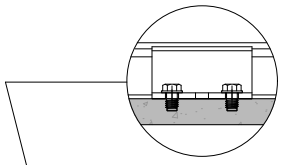


Vertical Joint Edge Distance

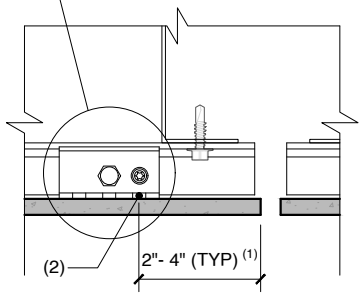


Horizontal Joint Edge Distance

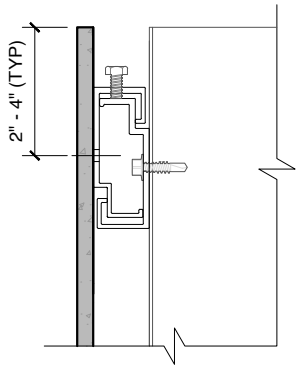
SFS



Position of Concealed Anchor in the Panel Hanger



Vertical Joint Edge Distance



Horizontal Joint Edge Distance

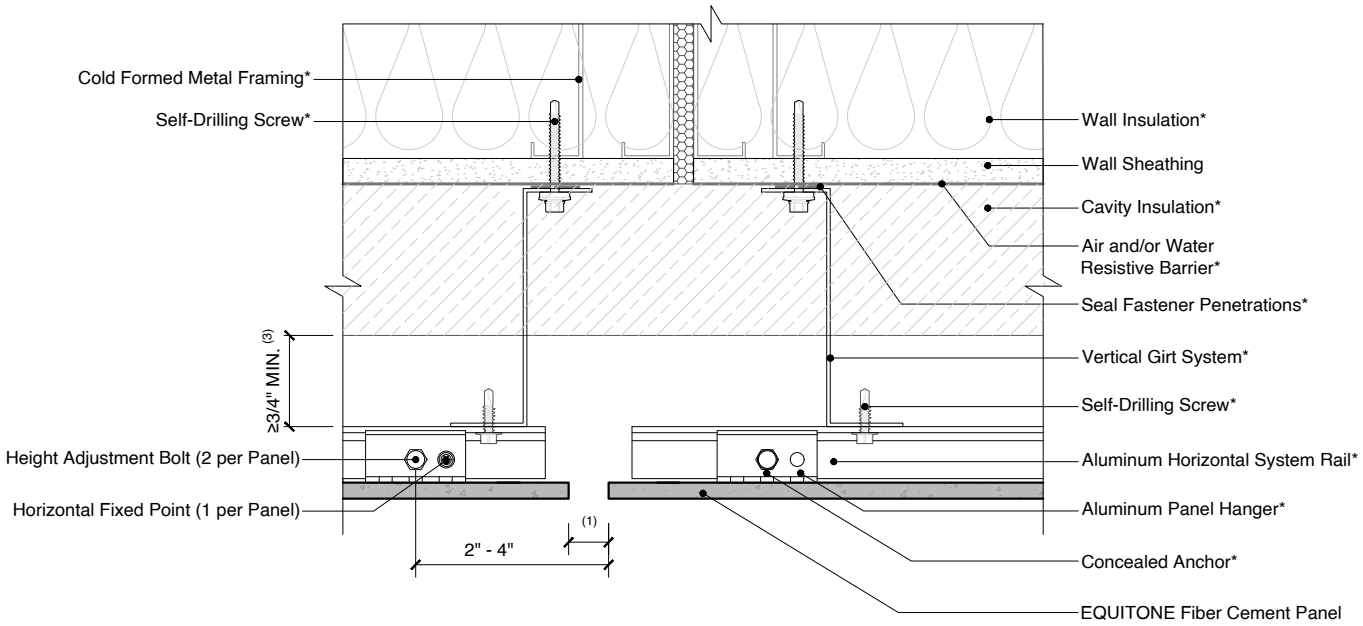
NOTES:
1. Ensure measurement is taken from anchor closest to the panel edge and not from the center of the hanger.
2. Ensure dimension is to the center of this front hole and not the hole behind.

EQUITONE

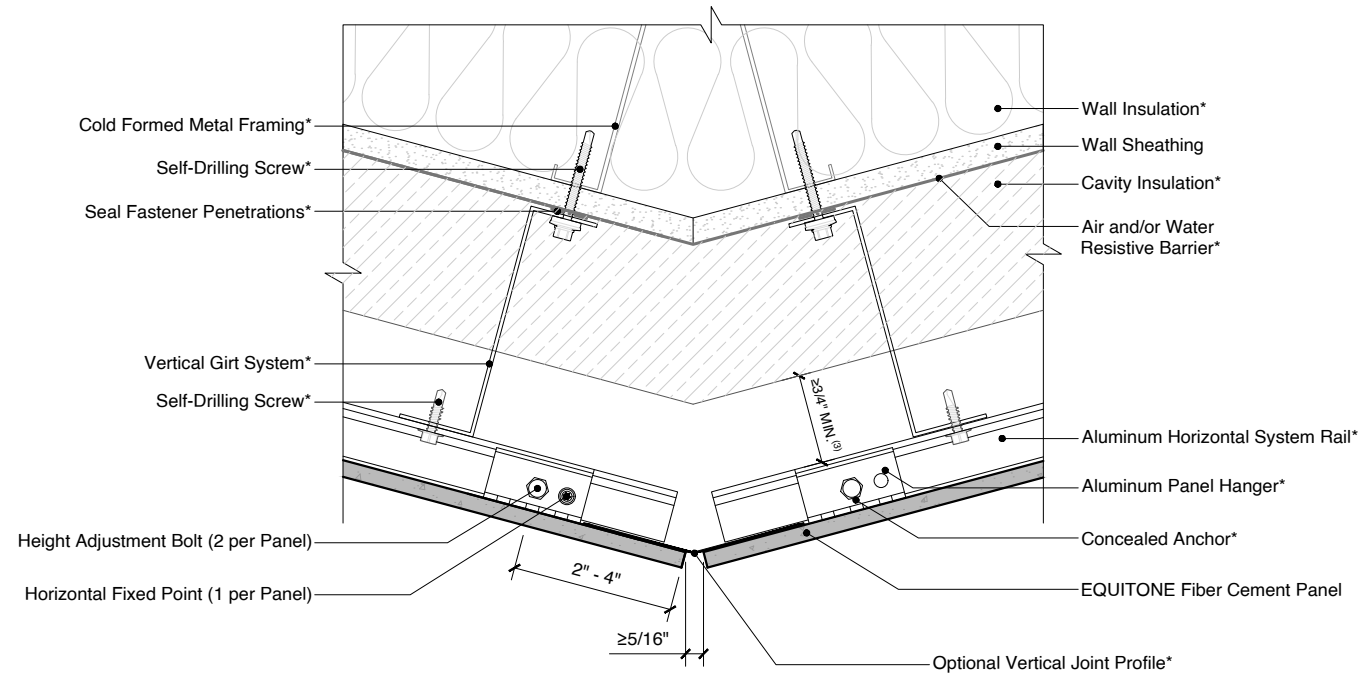
DETAIL #:	EQ-CF-VG-SS-ED
RELEASE:	202411
REGION:	NORTH AMERICA
	WWW.EQUITONE.COM

CONCEALED ANCHOR EDGE DISTANCE REQUIREMENTS

EQUITONE CONCEALED FASTENER USING VERTICAL GIRT SYSTEMS ON STEEL STUD CONSTRUCTION



Vertical Control Joint



Vertical Joint at Angle

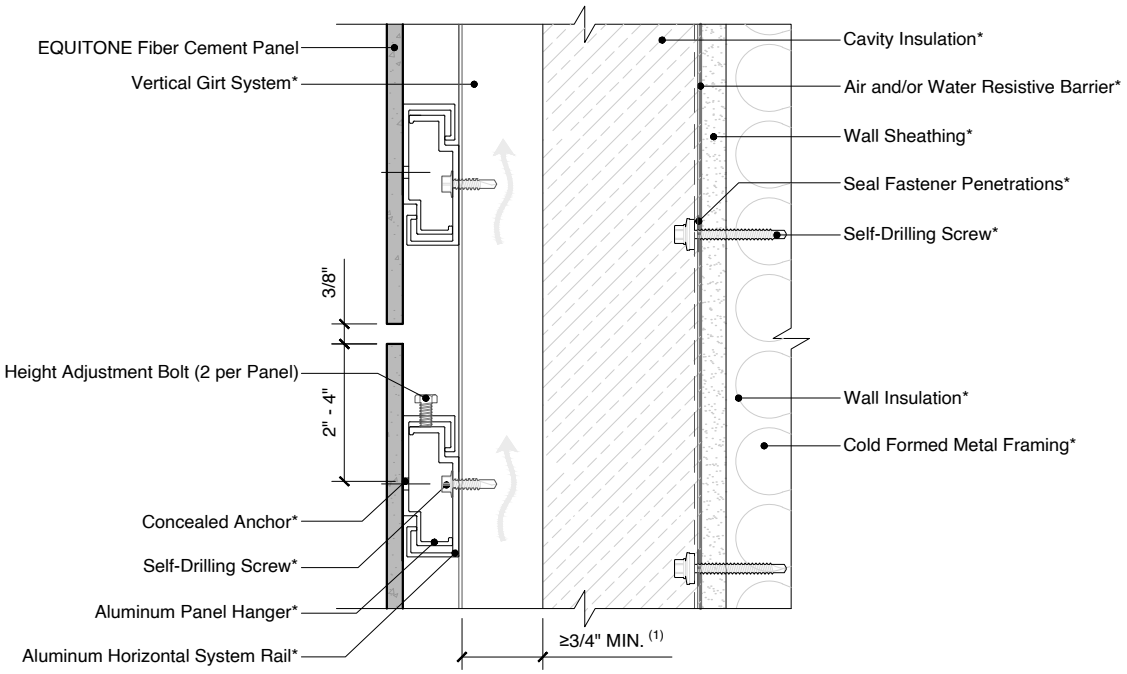
NOTES:
1. The width of the the facade control joint should be equal or greater than the building control joint.
2. Flashing used to close the joints may not be thicker as 1/32 in (23 gauge), including the thickness of any fastener heads.
3. Inlet/Outlet, air cavity, and closure perforation sizing should be modified, from those expressed herein, depending upon building height and/or local legislation. Visit the Planning and Application Guide - Face Fixing to Metal for additional information.
4. (*) symbol represents materials not supplied by EQUITONE.

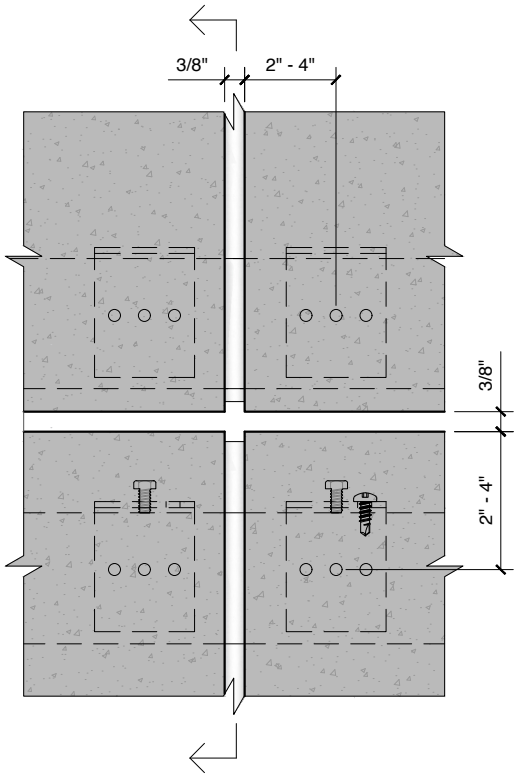
EQUITONE

DETAIL #: EQ-CF-VG-SS-VJ
RELEASE: 202411
REGION: NORTH AMERICA
WWW.EQUITONE.COM

VERTICAL JOINT DETAILS

EQUITONE CONCEALED FASTENER USING VERTICAL GIRT SYSTEMS ON STEEL STUD CONSTRUCTION





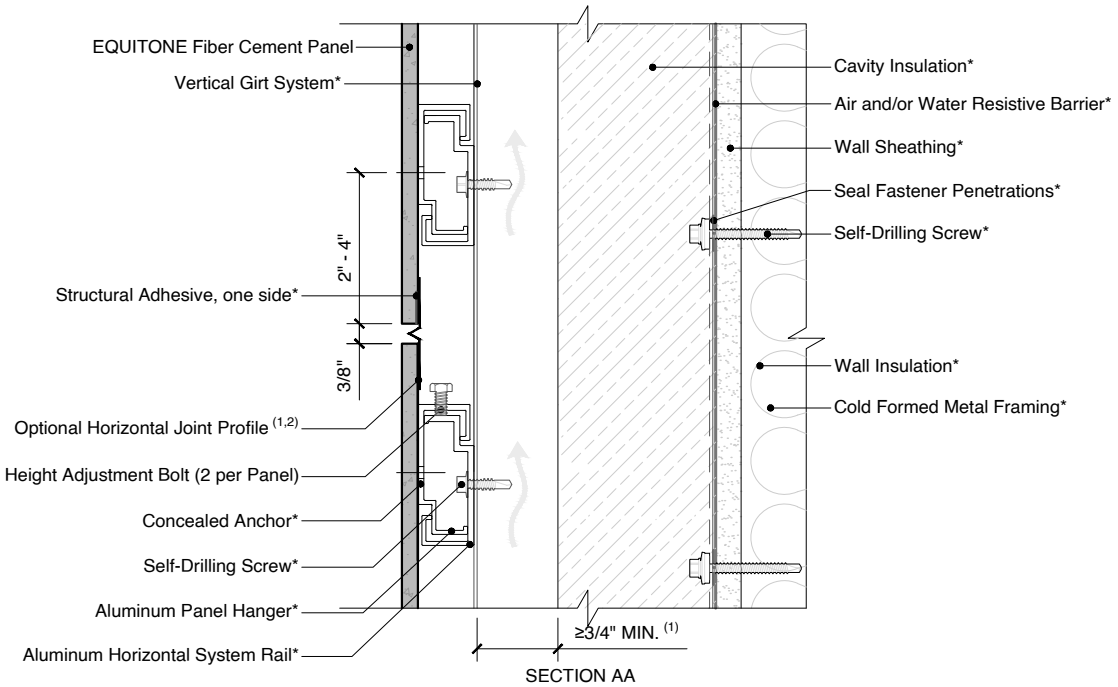
NOTES:
1. Inlet/Outlet, air cavity, and closure perforation sizing should be modified, from those expressed herein, depending upon building height and/or local legislation. Visit the Planning and Application Guide - Face Fixing to Metal for additional information.
2. (*) symbol represents materials not supplied by EQUITONE.

EQUITONE

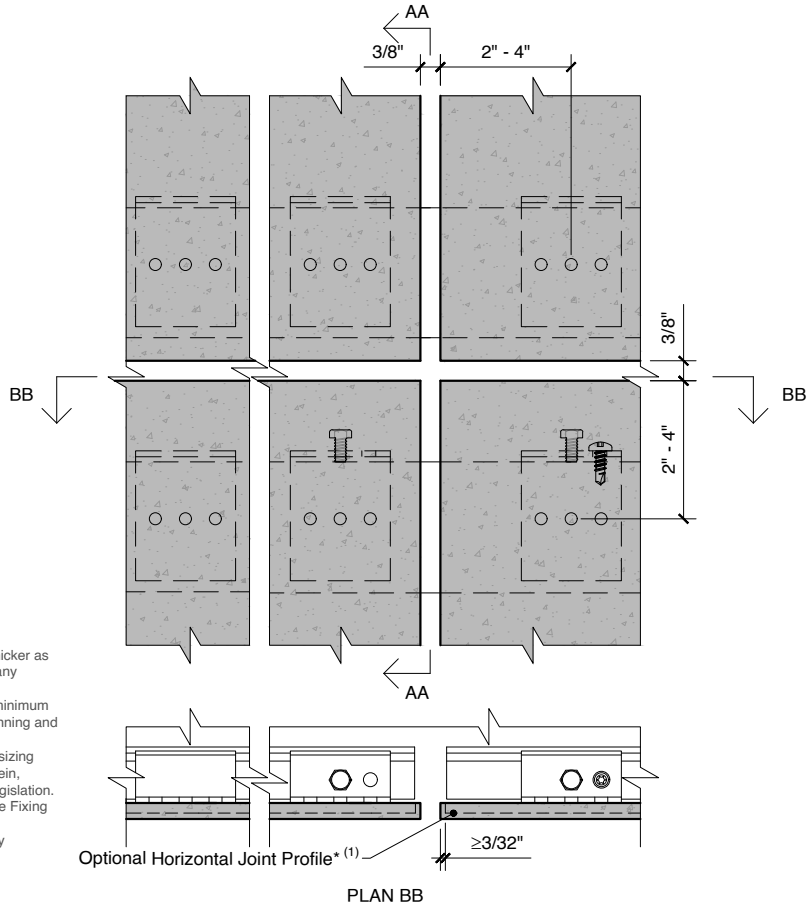
DETAIL #: EQ-CF-VG-SS-OHJ
RELEASE: 202411
REGION: NORTH AMERICA
WWW.EQUITONE.COM

OPEN HORIZONTAL JOINT DETAILS

EQUITONE CONCEALED FASTENER USING VERTICAL GIRT SYSTEMS ON STEEL STUD CONSTRUCTION



SECTION AA



PLAN BB

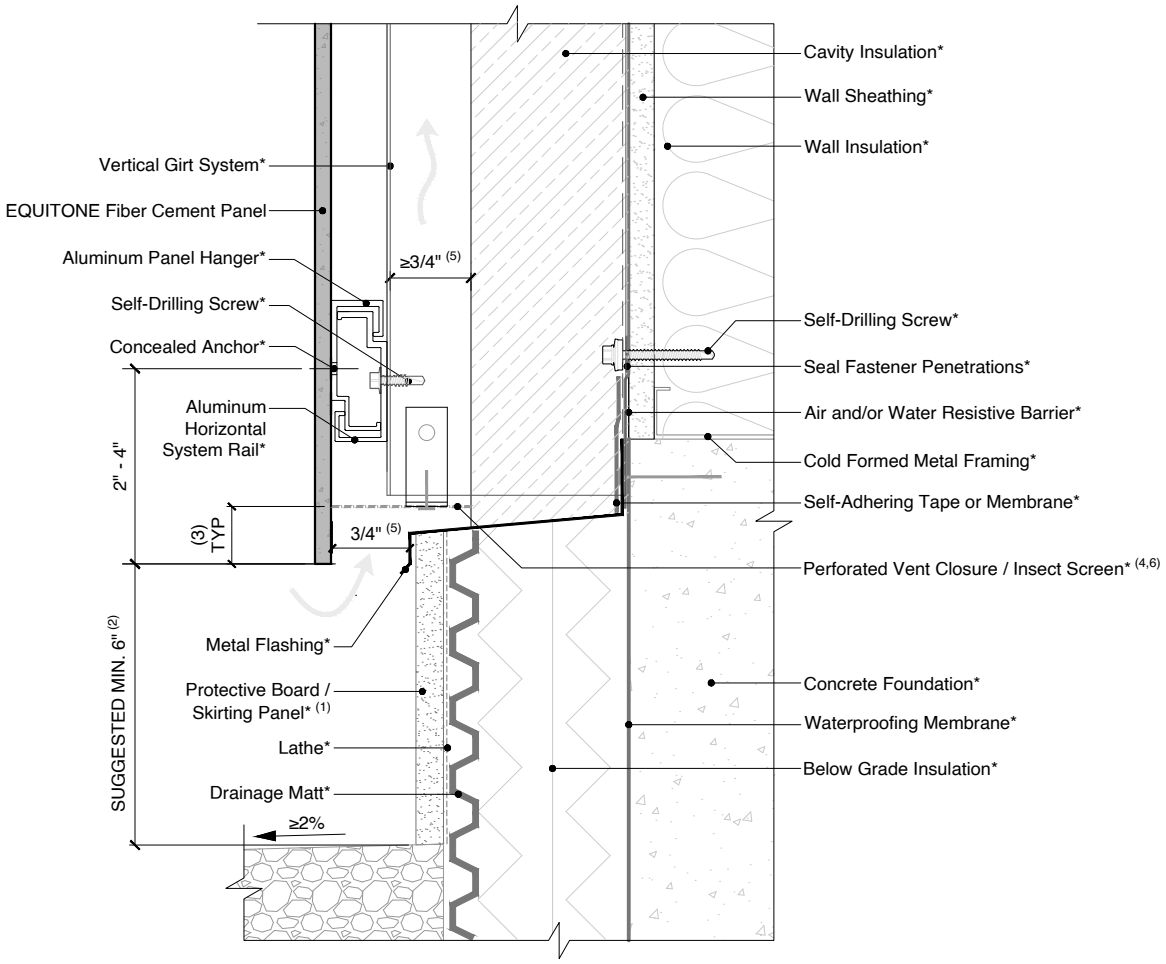
NOTES:
1. Flashing used to close the joints may not be thicker as 1/32 in (23 gauge), including the thickness of any fastener heads.
2. Closing the horizontal joint may increase the minimum ventilation requirements. See EQUITONE Planning and Application Guide for more information.
3. Inlet/Outlet, air cavity, and closure perforation sizing should be modified, from those expressed herein, depending upon building height and/or local legislation. Visit the Planning and Application Guide - Face Fixing to Metal for additional information.
4. (*) symbol represents materials not supplied by EQUITONE.

EQUITONE

DETAIL #: EQ-CF-VG-SS-CHJ
RELEASE: 202411
REGION: NORTH AMERICA
WWW.EQUITONE.COM

BAFFLED HORIZONTAL JOINT DETAILS

EQUITONE CONCEALED FASTENER USING VERTICAL GIRT SYSTEMS ON STEEL STUD CONSTRUCTION



NOTES:

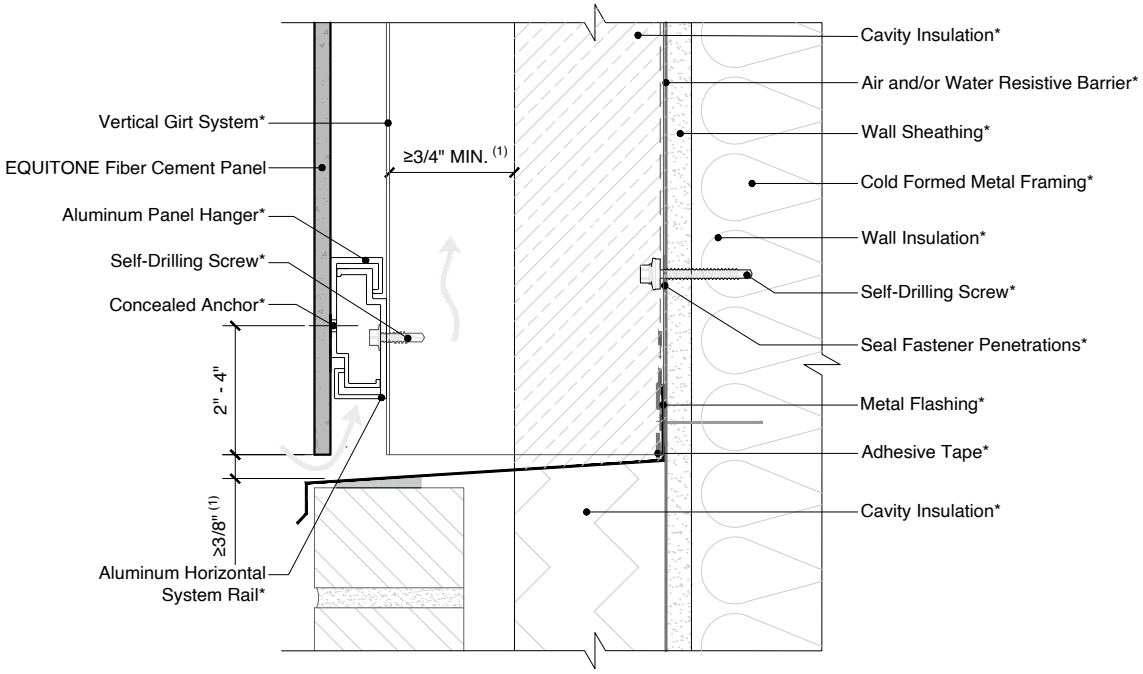
1. The skirting board could be concrete, natural stone, render, metal flashing, etc.
2. A smaller ground clearance is possible, but it may increase the risk of water marks and panel staining caused by splash back.
3. The facade panel should preferably overhang more than 3/8 in below the ventilation profile to create a drip edge.
4. All closures, trims, screens, etc. should be held off the back of the panel by at least 1/16 inch.
5. Inlet/Outlet, air cavity, and closure perforation sizing should be modified, from those expressed herein, depending upon building height and/or local legislation. Visit the Planning and Application Guide - Face Fixing to Metal for additional information.
6. When the inlet/outlet is wider than 3/4 inch continuous, a perforated closure is recommended to prevent debris build up. The perforation pattern should allow the same volume of air to pass through as the specified continuous open joint size specified in EQUITONE guidelines.
7. Where a perforated closure is not obstructing the inlet/outlet, the opening should be a minimum of 3/8 inch continuous.
8. (*) symbol represents materials not supplied by EQUITONE.

EQUITONE

DETAIL #: EQ-CF-VG-SS-BGL
RELEASE: 202411
REGION: NORTH AMERICA
WWW.EQUITONE.COM

BASE DETAIL - GROUND LEVEL

EQUITONE CONCEALED FASTENER USING VERTICAL GIRT SYSTEMS ON STEEL STUD CONSTRUCTION



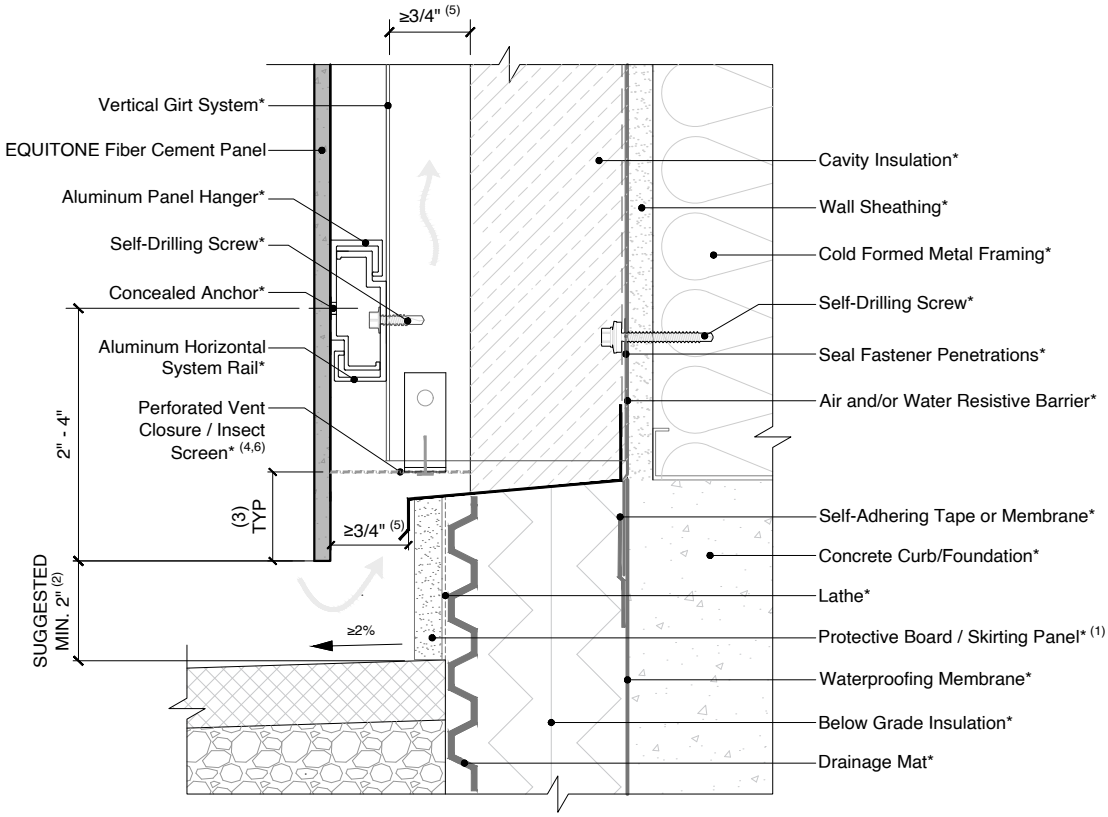
NOTES:
1. Inlet/Outlet, air cavity, and closure perforation sizing should be modified, from those expressed herein, depending upon building height and/or local legislation. Visit the Planning and Application Guide - Face Fixing to Metal for additional information.
2. (*) symbol represents materials not supplied by EQUITONE.

EQUITONE

DETAIL #: EQ-CF-VG-SS-BOM
RELEASE: 202411
REGION: NORTH AMERICA
WWW.EQUITONE.COM

BASE DETAIL - JUNCTION WITH OTHER FACADE MATERIAL DETAIL

EQUITONE CONCEALED FASTENER USING VERTICAL GIRT SYSTEMS ON STEEL STUD CONSTRUCTION



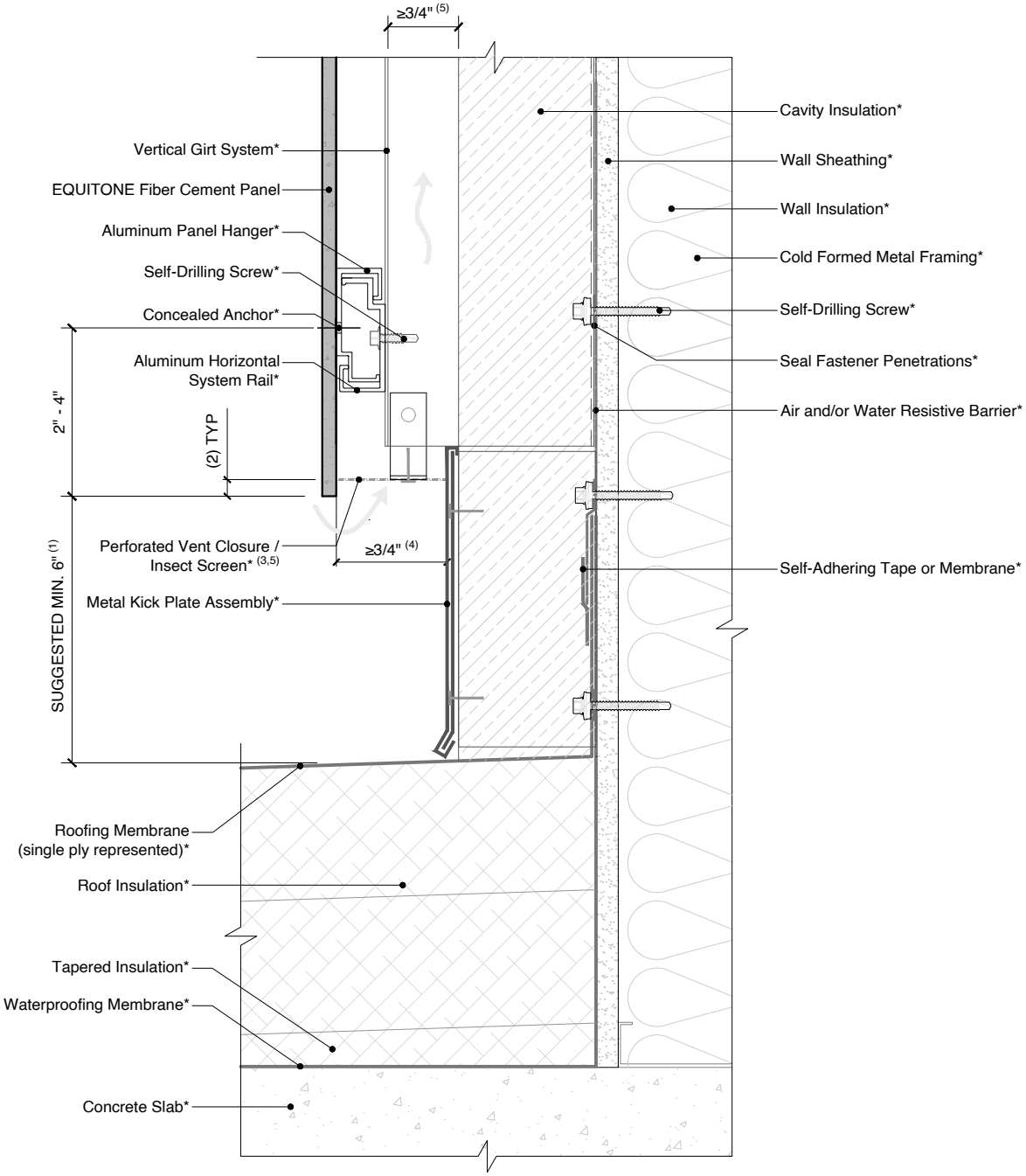
NOTES:
1. The skirting board could be concrete, natural stone, render, metal flashing, etc.
2. A smaller ground clearance is possible, but it may increase the risk of water marks and panel staining caused by splash back.
3. The facade panel should preferably overhang more than 3/8 in. below the ventilation profile to create a drip edge.
4. All closures, trims, screens, etc. should be held off the back of the panel by at least 1/16 inch.
5. Inlet/Outlet, air cavity, and closure perforation sizing should be modified, from those expressed herein, depending upon building height and/or local legislation. Visit the Planning and Application Guide - Face Fixing to Metal for additional information.
6. When the inlet/outlet is wider than 3/4 inch continuous, a perforated closure is recommended to prevent debris build up. The perforation pattern should allow the same volume of air to pass through as the specified continuous open joint size specified in EQUITONE guidelines.
7. Where a perforated closure is not obstructing the inlet/outlet, the opening should be a minimum of 3/8 inch continuous.
8. (*) symbol represents materials not supplied by EQUITONE.

EQUITONE

DETAIL #: EQ-CF-VG-SS-BCA
RELEASE: 202411
REGION: NORTH AMERICA
WWW.EQUITONE.COM

BASE DETAIL - COVERED AREA

EQUITONE CONCEALED FASTENER USING VERTICAL GIRT SYSTEMS ON STEEL STUD CONSTRUCTION



NOTES:

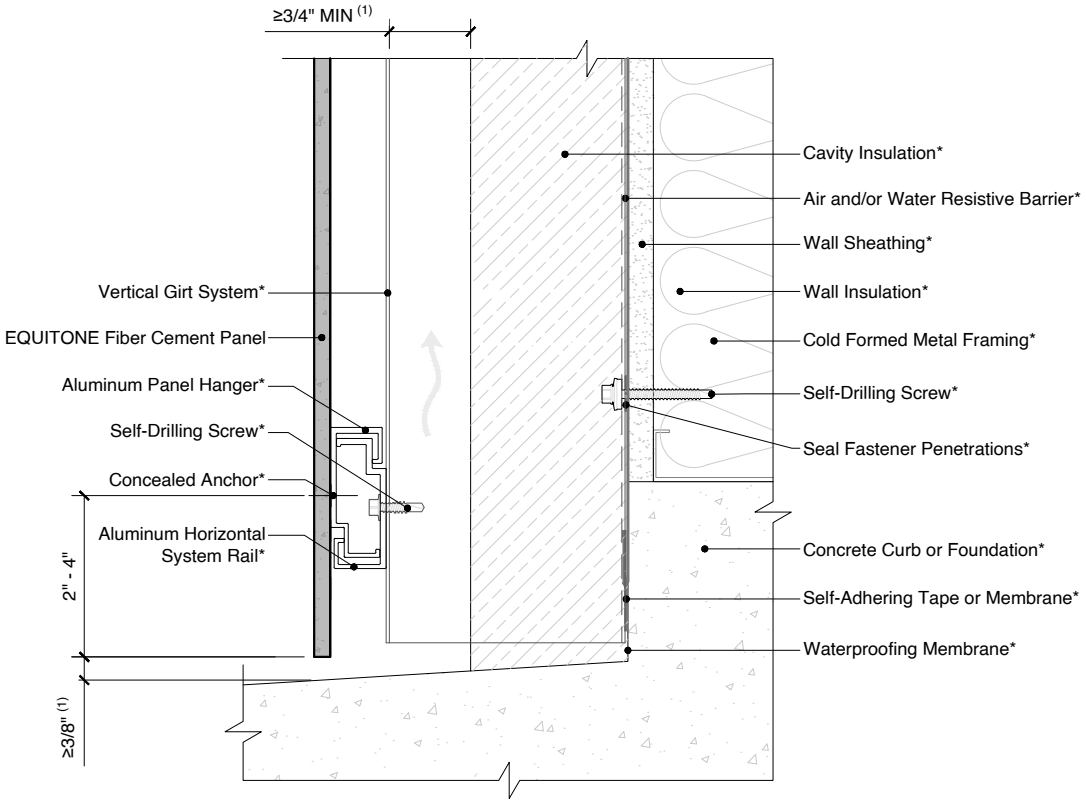
1. A smaller ground clearance is possible, but it may increase the risk of water marks and panel staining caused by splash back.
2. The facade panel should preferably overhang more than 3/8 in below the ventilation profile to create a drip edge.
3. All closures, trims, screens, etc. should be held off the back of the panel by at least 1/16 inch.
4. Inlet/Outlet, air cavity, and closure perforation sizing should be modified, from those expressed herein, depending upon building height and/or local legislation. Visit the Planning and Application Guide - Face Fixing to Metal for additional information.
5. When the inlet/outlet is wider than 3/4 inch continuous, a perforated closure is recommended to prevent debris build up. The perforation pattern should allow the same volume of air to pass through as the specified continuous open joint size specified in EQUITONE guidelines.
6. Where a perforated closure is not obstructing the inlet/outlet, the opening should be a minimum of 3/8 inch continuous.
7. (*) symbol represents materials not supplied by EQUITONE.

EQUITONE

DETAIL #: EQ-CF-VG-SS-BFR
RELEASE: 202411
REGION: NORTH AMERICA
WWW.EQUITONE.COM

BASE DETAIL - FLAT ROOF

EQUITONE CONCEALED FASTENER USING VERTICAL GIRT SYSTEMS ON STEEL STUD CONSTRUCTION



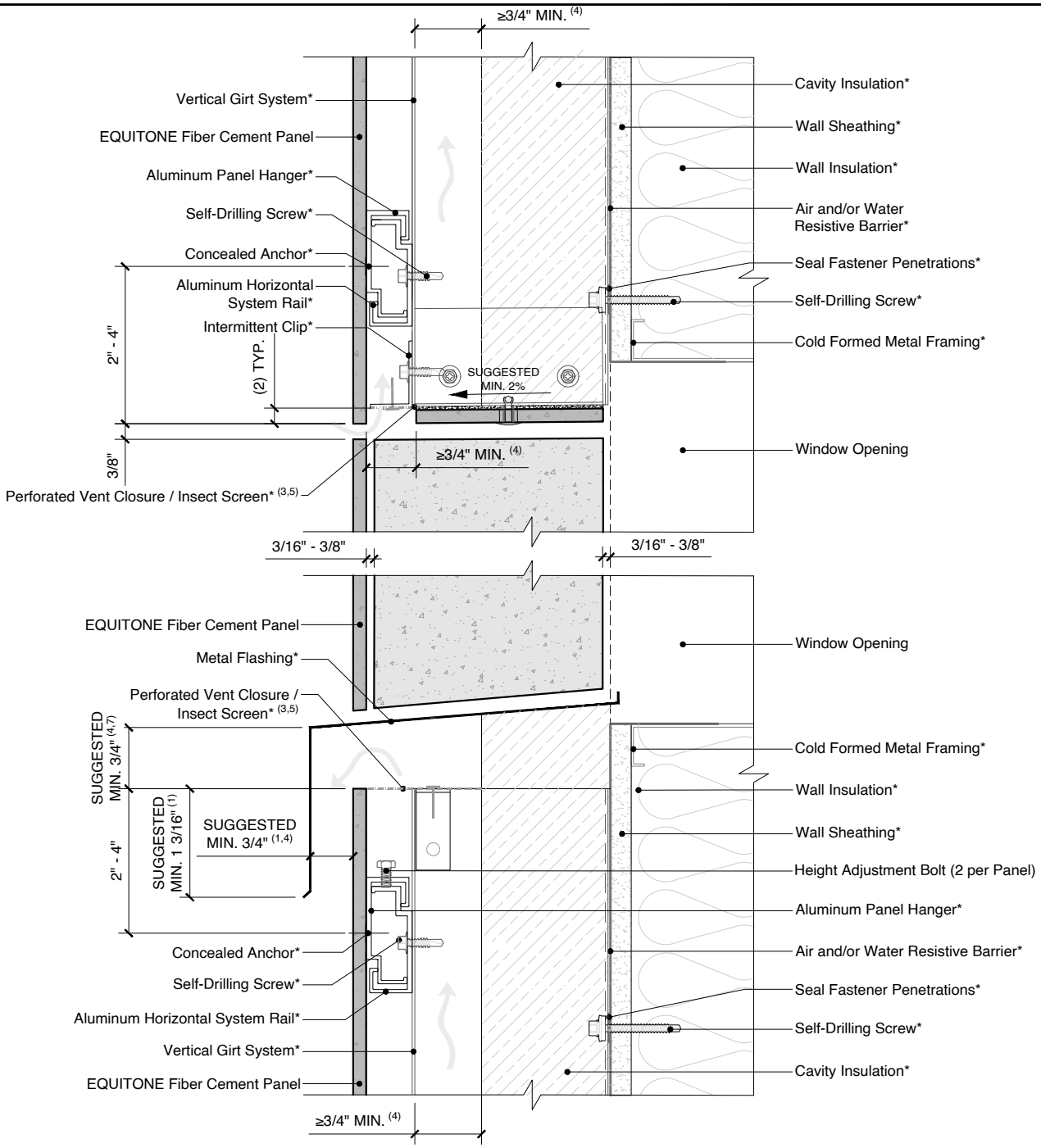
NOTES:
1. Inlet/Outlet, air cavity, and closure perforation sizing should be modified, from those expressed herein, depending upon building height and/or local legislation. Visit the Planning and Application Guide - Face Fixing to Metal for additional information.
2. (*) symbol represents materials not supplied by EQUITONE.

EQUITONE

DETAIL #: EQ-CF-VG-SS-BB
RELEASE: 202411
REGION: NORTH AMERICA
WWW.EQUITONE.COM

BASE DETAIL - BALCONY

EQUITONE CONCEALED FASTENER USING VERTICAL GIRT SYSTEMS ON STEEL STUD CONSTRUCTION



NOTES:

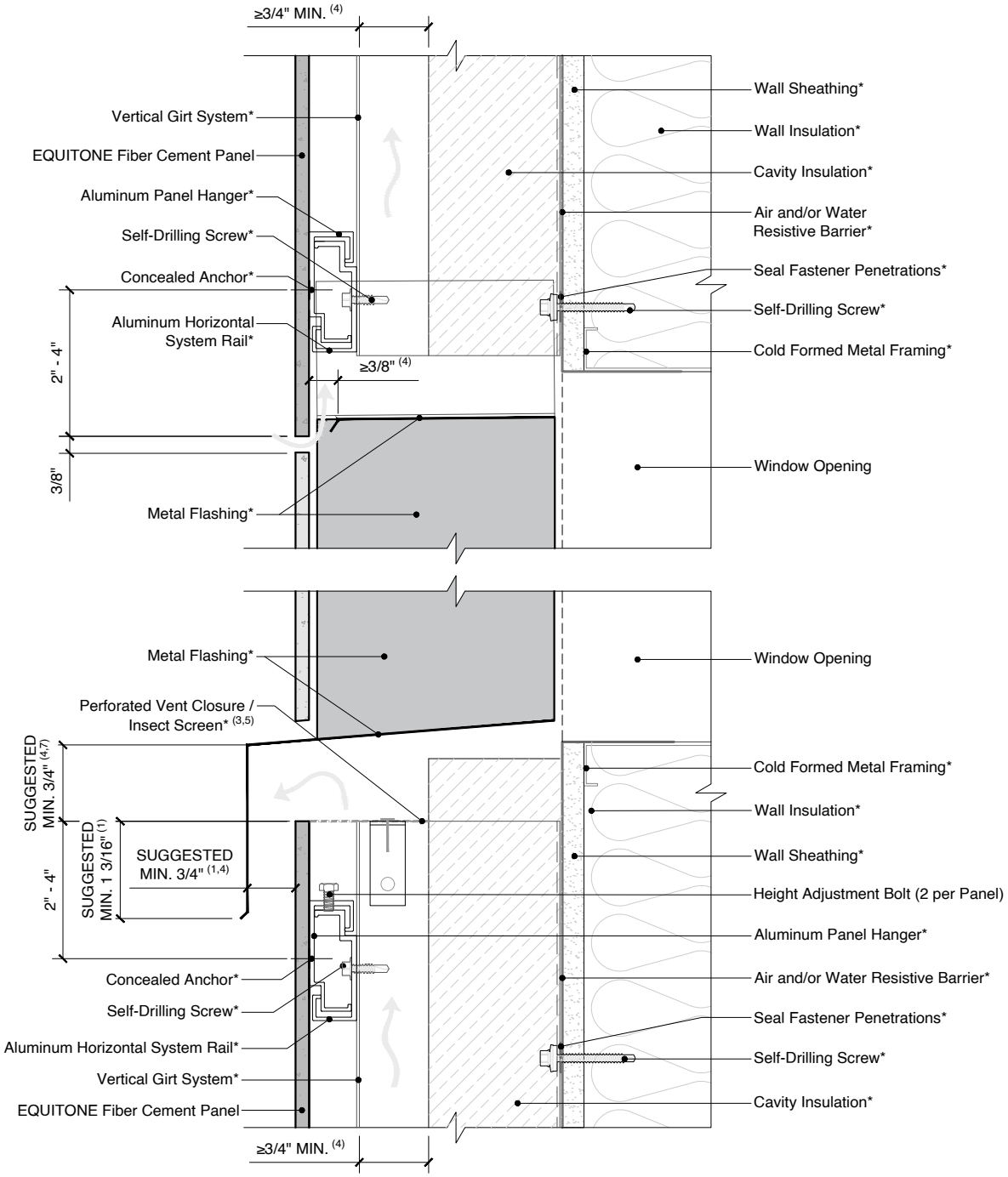
1. A smaller overlap or offset is possible, but it may increase the risk of water marks and panel staining caused by runoff. Smaller capping is also more prone to wind driven rain entering the cavity. At minimum, EQUITONE's ventilation guidelines must be followed.
2. The facade panel should preferably overhang more than 3/8 in below the ventilation profile to create a drip edge.
3. All closures, trims, screens, etc. should be held off the back of the panel by at least 1/16 inch.
4. Inlet/Outlet, air cavity, and closure perforation sizing should be modified, from those expressed herein, depending upon building height and/or local legislation. Visit the Planning and Application Guide - Face Fixing to Metal for additional information.
5. When the inlet/outlet is wider than 3/4 inch continuous, a perforated closure is recommended to prevent debris build up. The perforation pattern should allow the same volume of air to pass through as the specified continuous open joint size specified in EQUITONE guidelines.
6. Where a perforated closure is not obstructing the inlet/outlet, the opening should be a minimum of 3/8 inch continuous.
7. Ensure there is enough room to engage the panel clips over the concealed rail system.
8. (*) symbol represents materials not supplied by EQUITONE.

EQUITONE

DETAIL #: EQ-CF-VG-SS-WHS1
RELEASE: 202411
REGION: NORTH AMERICA
WWW.EQUITONE.COM

WINDOW HEAD AND SILL DETAILS - OPTION 1

EQUITONE CONCEALED FASTENER USING VERTICAL GIRT SYSTEMS ON STEEL STUD CONSTRUCTION



NOTES:

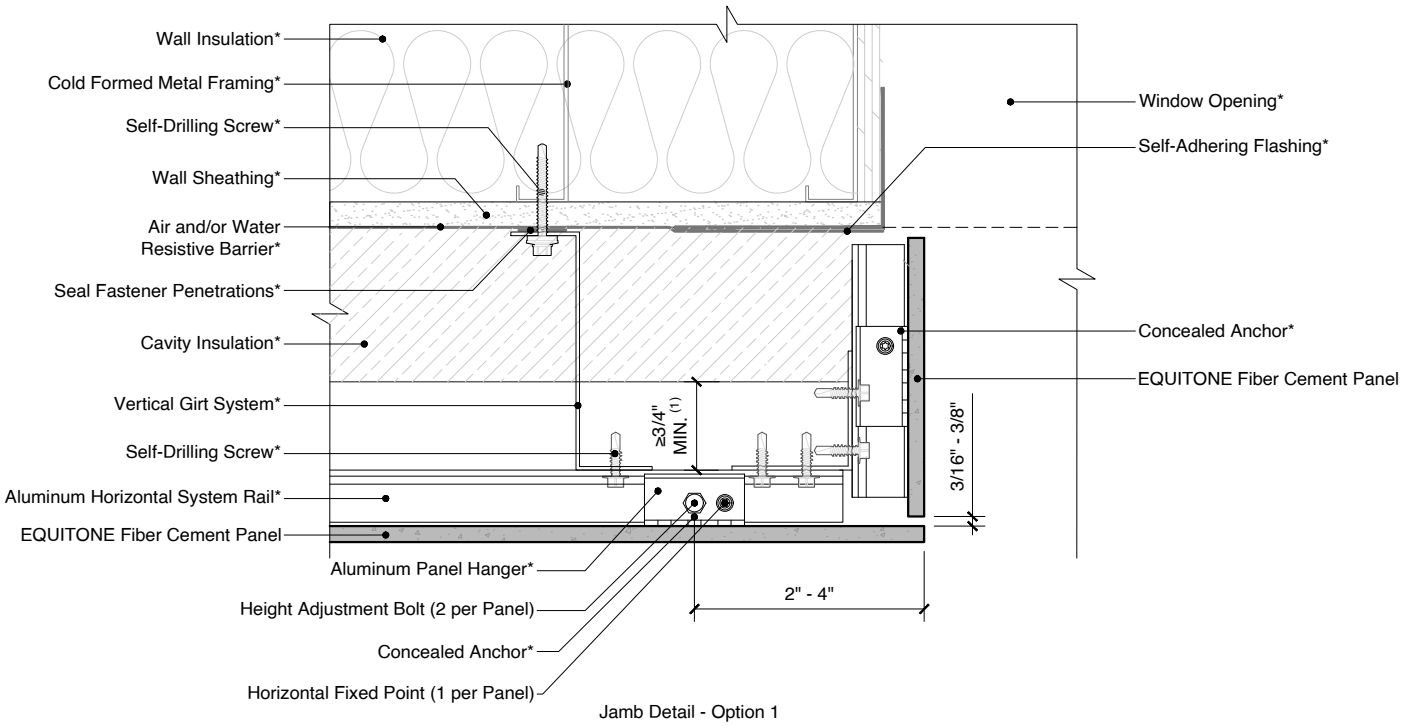
1. A smaller overlap or offset is possible, but it may increase the risk of water marks and panel staining caused by runoff. Smaller capping is also more prone to wind driven rain entering the cavity. At minimum, EQUITONE's ventilation guidelines must be followed.
2. The facade panel should preferably overhang more than 3/8 in below the ventilation profile to create a drip edge.
3. All closures, trims, screens, etc. should be held off the back of the panel by at least 1/16 inch.
4. Inlet/Outlet, air cavity, and closure perforation sizing should be modified, from those expressed herein, depending upon building height and/or local legislation. Visit the Planning and Application Guide - Face Fixing to Metal for additional information.
5. When the inlet/outlet is wider than 3/4 inch continuous, a perforated closure is recommended to prevent debris build up. The perforation pattern should allow the same volume of air to pass through as the specified continuous open joint size specified in EQUITONE guidelines.
6. Where a perforated closure is not obstructing the inlet/outlet, the opening should be a minimum of 3/8 inch continuous.
7. Ensure there is enough room to engage the panel clips over the concealed rail system.
8. (*) symbol represents materials not supplied by EQUITONE.

EQUITONE

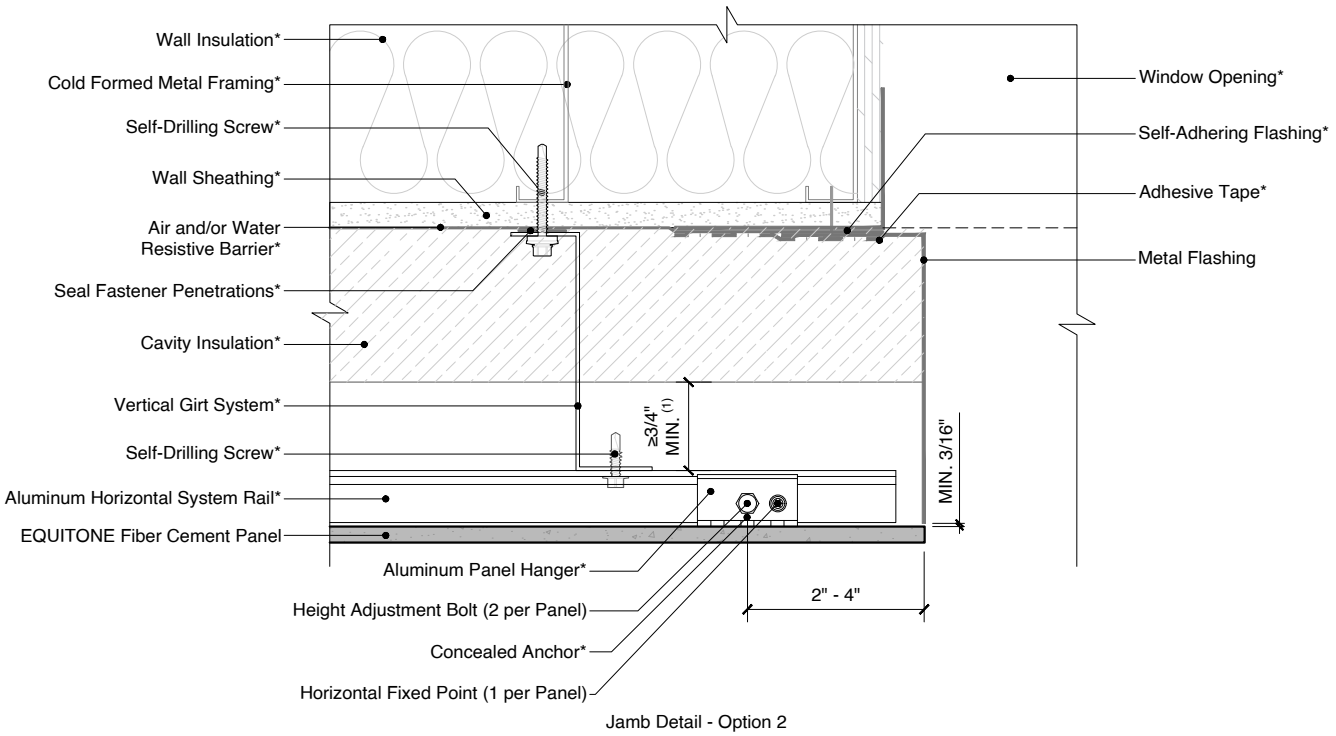
DETAIL #: EQ-CF-VG-SS-WHS2
RELEASE: 202411
REGION: NORTH AMERICA
WWW.EQUITONE.COM

WINDOW HEAD AND SILL DETAILS - OPTION 2

EQUITONE CONCEALED FASTENER USING VERTICAL GIRT SYSTEMS ON STEEL STUD CONSTRUCTION



Jamb Detail - Option 1



Jamb Detail - Option 2

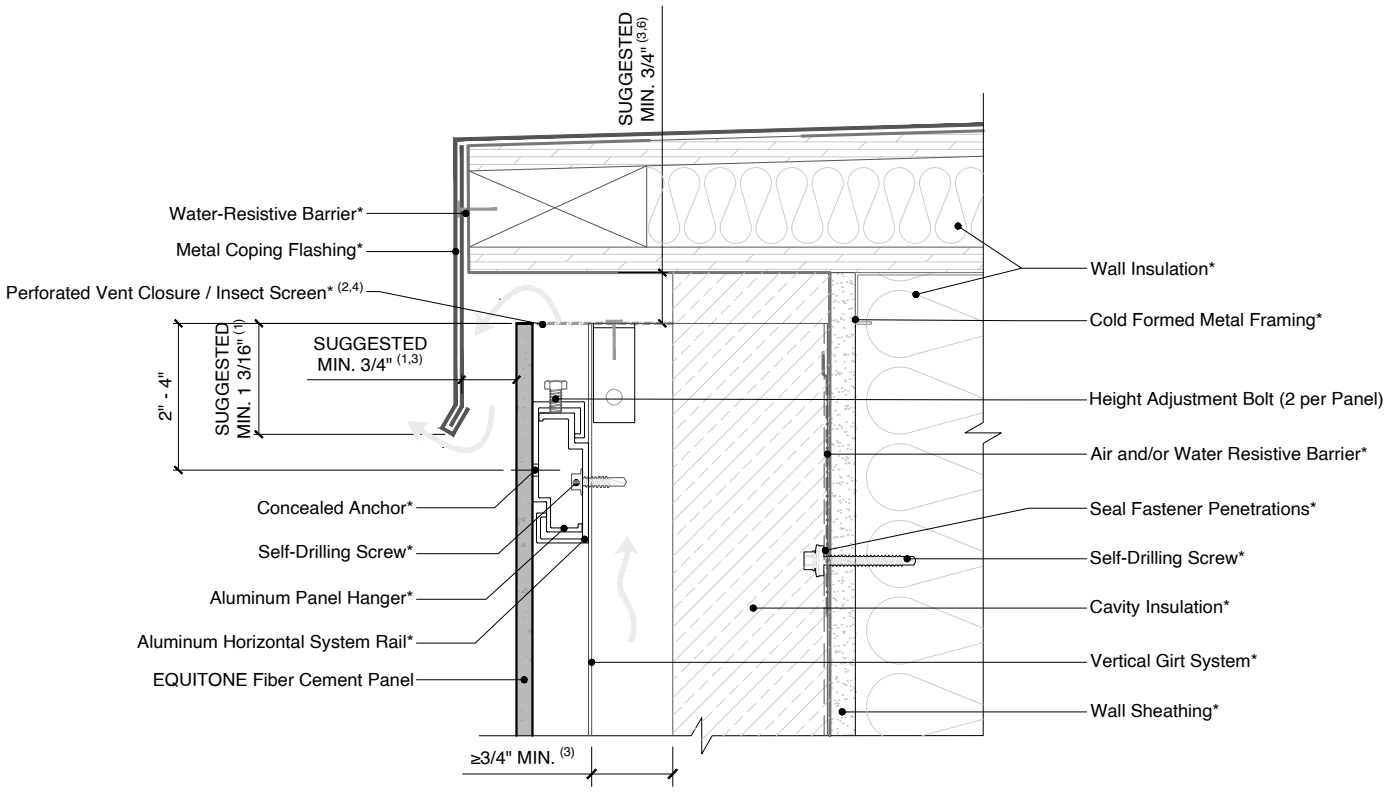
NOTES:
1. Inlet/Outlet, air cavity, and closure perforation sizing should be modified, from those expressed herein, depending upon building height and/or local legislation. Visit the Planning and Application Guide - Face Fixing to Metal for additional information.
2. (*) symbol represents materials not supplied by EQUITONE.

EQUITONE

DETAIL #: EQ-CF-VG-SS-WJ
RELEASE: 202411
REGION: NORTH AMERICA
WWW.EQUITONE.COM

JAMB DETAIL OPTIONS

EQUITONE CONCEALED FASTENER USING VERTICAL GIRT SYSTEMS ON STEEL STUD CONSTRUCTION



Coping Detail - Down Slope

NOTES:

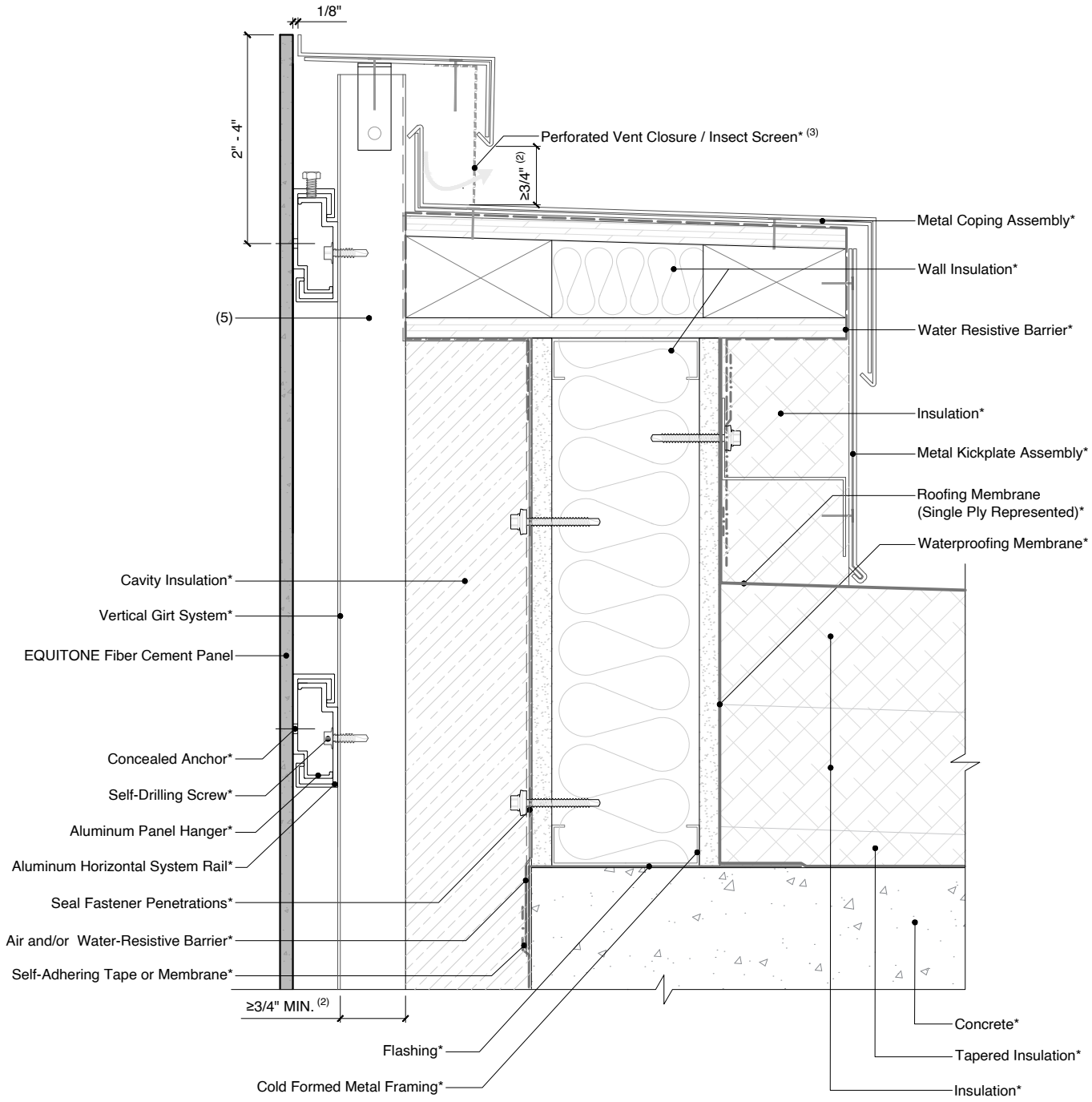
1. A smaller overlap or offset is possible, but it may increase the risk of water marks and panel staining caused by runoff. Smaller capping is also more prone to wind driven rain entering the cavity. At minimum, EQUITONE's ventilation guidelines must be followed.
2. All closures, trims, screens, etc. should be held off the back of the panel by at least 1/16 inch.
3. Inlet/Outlet, air cavity, and closure perforation sizing should be modified, from those expressed herein, depending upon building height and/or local legislation. Visit the Planning and Application Guide - Face Fixing to Metal for additional information.
4. When the inlet/outlet is wider than 3/4 inch continuous, a perforated closure is recommended to prevent debris build up. The perforation pattern should allow the same volume of air to pass through as the specified continuous open joint size specified in EQUITONE guidelines.
5. Where a perforated closure is not obstructing the inlet/outlet, the opening should be a minimum of 3/8 inch continuous.
6. Ensure there is enough room to engage the panel clips over the concealed rail system.
7. (*) symbol represents materials not supplied by EQUITONE.

EQUITONE

DETAIL #: EQ-CF-VG-SS-C1
RELEASE: 202411
REGION: NORTH AMERICA
WWW.EQUITONE.COM

COPING DETAIL - OPTION 1

EQUITONE CONCEALED FASTENER USING VERTICAL GIRT SYSTEMS ON STEEL STUD CONSTRUCTION



NOTES:

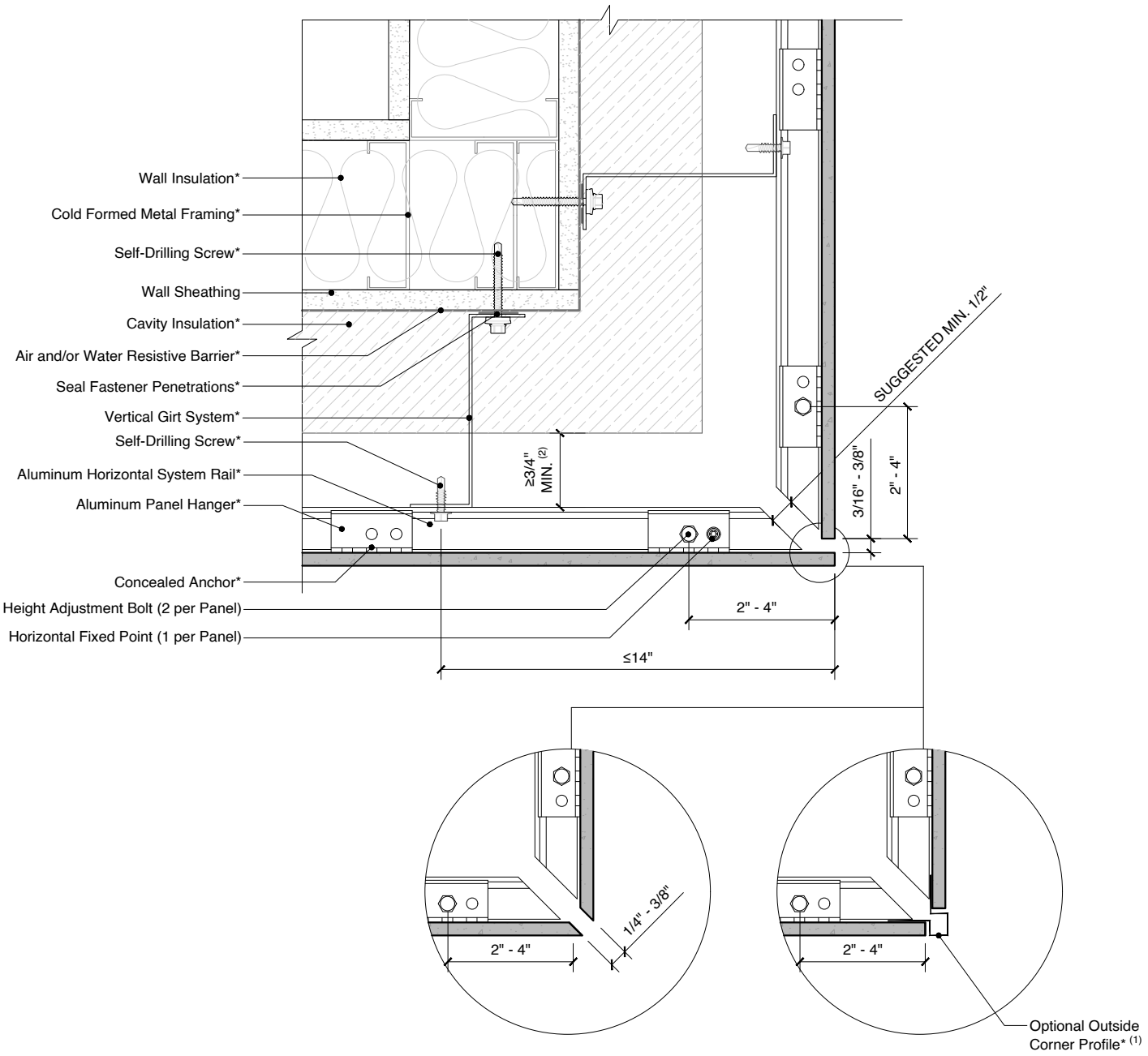
1. All closures, trims, screens, etc. should be held off the back of the panel by at least 1/16 inch.
2. Inlet/outlet, air cavity, and closure perforation sizing will vary, from those expressed herein, depending upon the distance between inlet/outlet or local legislation. Visit the Planning and Application Guide - Face Fixing to Metal for additional information.
3. When the inlet/outlet is wider than 3/4 inch continuous, a perforated closure is recommended to prevent debris build up. The perforation pattern should allow the same volume of air to pass through as the specified continuous open joint size specified in EQUITONE guidelines.
4. Where a perforated closure is not obstructing the inlet/outlet, the opening should be a minimum of 3/8 inch continuous.
5. Reduced section of the support profiles must be taken into account during static calculations.
6. (*) symbol represents materials not supplied by EQUITONE.

EQUITONE

DETAIL #: EQ-CF-VG-SS-C2
RELEASE: 202411
REGION: NORTH AMERICA
WWW.EQUITONE.COM

COPING DETAIL - OPTION 2

EQUITONE CONCEALED FASTENER USING VERTICAL GIRT SYSTEMS ON STEEL STUD CONSTRUCTION



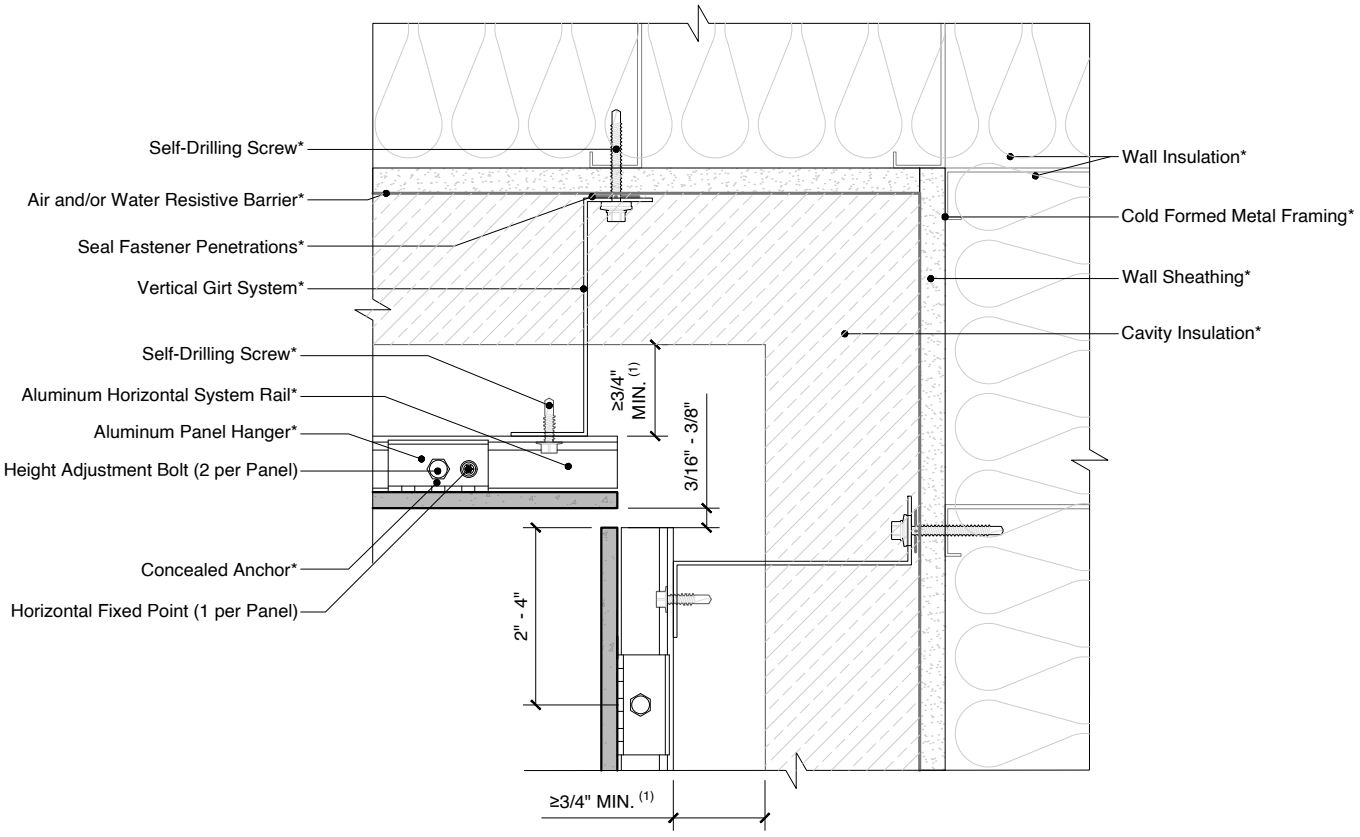
NOTES:
1. Flashing used to close the joints may not be thicker as 1/32 in (23 gauge), including the thickness of any fastener heads.
2. Inlet/outlet, air cavity, and closure perforation sizing will vary, from those expressed herein, depending upon the distance between inlet/outlet or local legislation. Visit the Planning and Application Guide - Face Fixing to Metal for additional information.
3. (*) symbol represents materials not supplied by EQUITONE.

EQUITONE

DETAIL #: EQ-CF-VG-SS-OC
RELEASE: 202411
REGION: NORTH AMERICA
WWW.EQUITONE.COM

OUTSIDE CORNER DETAIL

EQUITONE CONCEALED FASTENER USING VERTICAL GIRT SYSTEMS ON STEEL STUD CONSTRUCTION



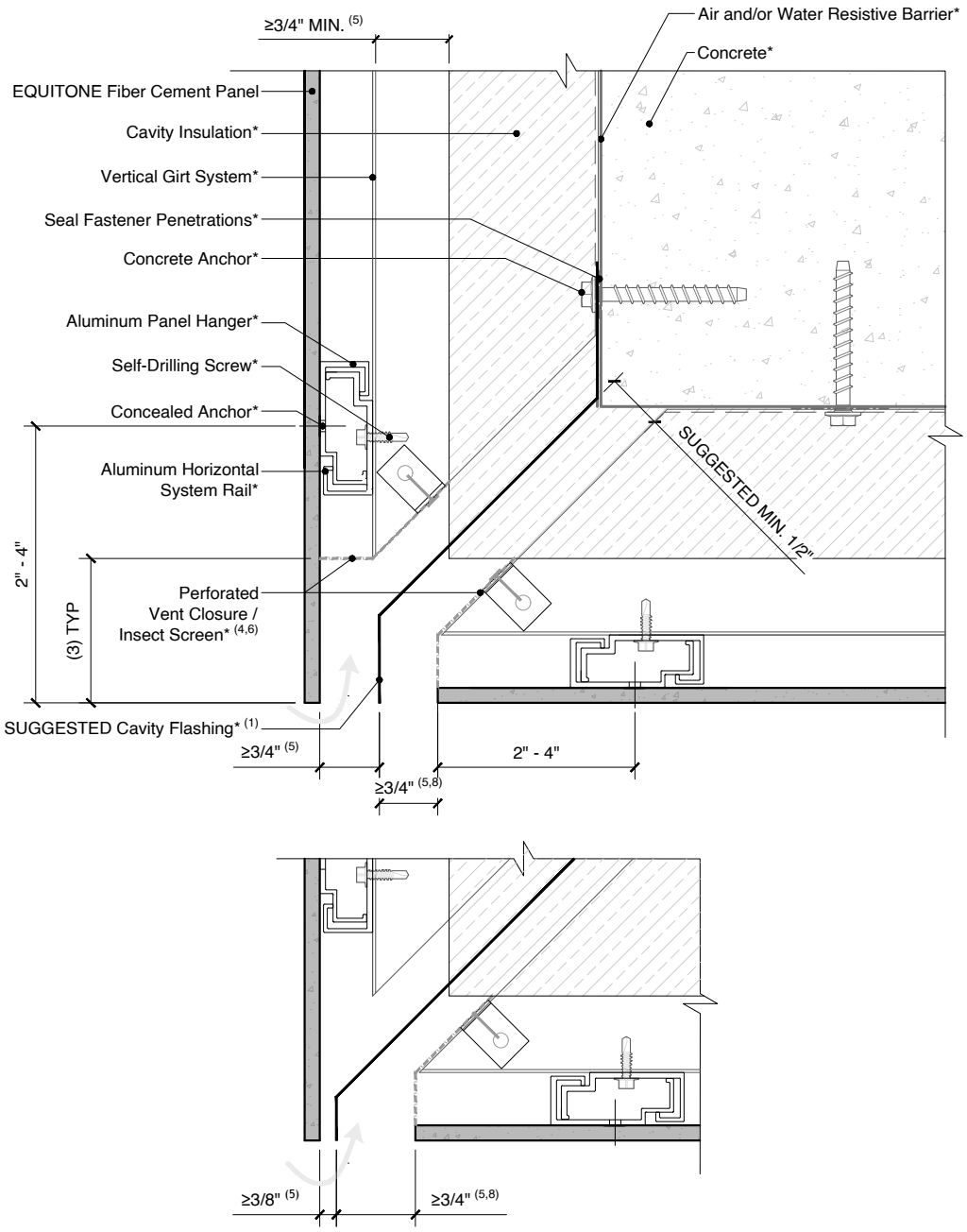
NOTES:
1. Inlet/outlet, air cavity, and closure perforation sizing will vary, from those expressed herein, depending upon the distance between inlet/outlet or local legislation. Visit the Planning and Application Guide - Face Fixing to Metal for additional information.
2. (*) symbol represents materials not supplied by EQUITONE.

EQUITONE

DETAIL #: EQ-CF-VG-SS-IC
RELEASE: 202411
REGION: NORTH AMERICA
WWW.EQUITONE.COM

INSIDE CORNER DETAIL

EQUITONE CONCEALED FASTENER USING VERTICAL GIRT SYSTEMS ON STEEL STUD CONSTRUCTION



NOTES:

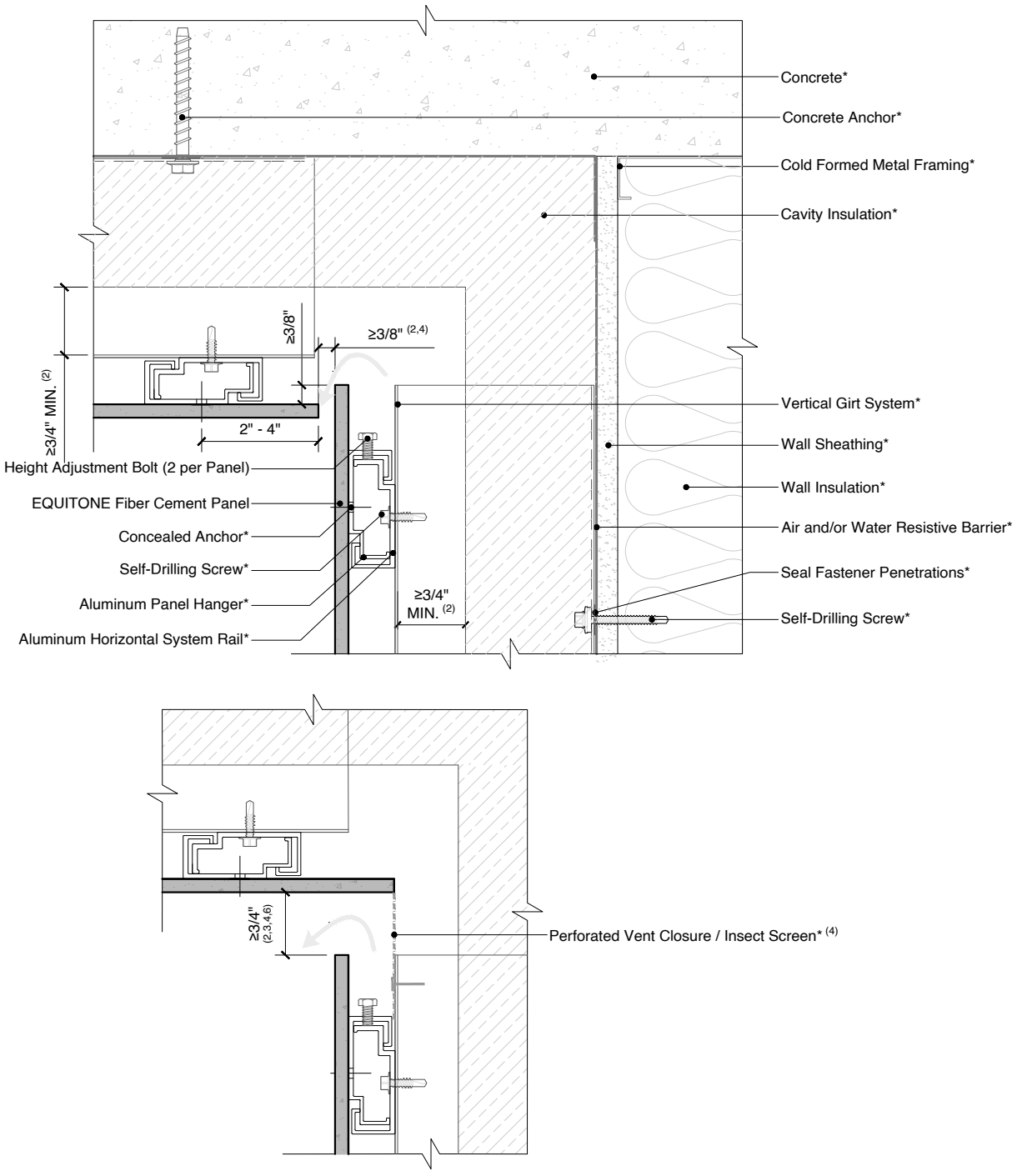
1. For soffit conditions, rivet spacing should be limited to 16 inch on center and should be confirmed through project engineering.
2. The following could also be detailed without a through wall flashing, but it may increase the risk of water marks and efflorescence on the face of the soffit panel material. At minimum, EQUITONE's ventilation guidelines must be followed.
3. The facade panel should preferably overhang more than 3/8 inch below ventilation profile to create a drip edge.
4. All closures, trims, screens, etc. should be held off the back of the panel by at least 1/16 inch.
5. Inlet/outlet, air cavity, and closure perforation sizing will vary, from those expressed herein, depending upon the distance between inlet/outlet or local legislation. Visit the Planning and Application Guide - Face Fixing to Metal for additional information.
6. When the inlet/outlet is wider than 3/4 inch continuous, a perforated closure is recommended to prevent debris build up. The perforation pattern should allow the same volume of air to pass through as the specified continuous open joint size specified in EQUITONE guidelines.
7. Where a perforated closure is not obstructing the inlet/outlet, the opening should be a minimum of 3/8 inch continuous.
8. Ensure there is enough room to engage the panel clips over the concealed rail system. Suggested 3/4" minimum.
9. (*) symbol represents materials not supplied by EQUITONE.

EQUITONE

DETAIL #: EQ-CF-VG-SS-SCO
RELEASE: 202411
REGION: NORTH AMERICA
WWW.EQUITONE.COM

SOFFIT / CEILING WALL JUNCTION - OUTSIDE EDGE

EQUITONE CONCEALED FASTENER USING VERTICAL GIRT SYSTEMS ON STEEL STUD CONSTRUCTION



NOTES:

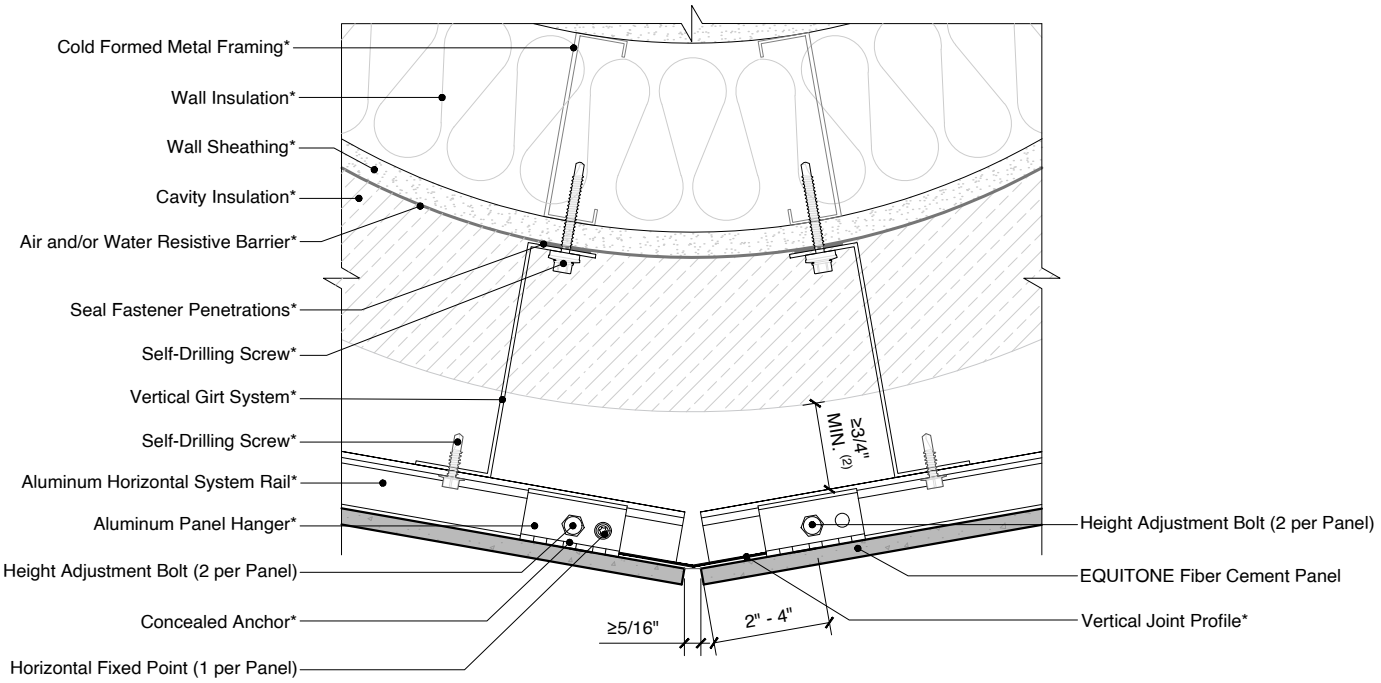
1. For soffit conditions, rivet spacing should be limited to 16 inch on center and should be confirmed through project engineering.
2. All closures, trims, screens, etc. should be held back off of the back of the panel by at least 1/16 inch.
3. Inlet/outlet, air cavity, and closure perforation sizing will vary, from those expressed herein, depending upon the distance between inlet/outlet or local legislation. Visit the Planning and Application Guide - Face Fixing to Metal for additional information.
4. When the inlet/outlet is wider than 3/4 inch continuous, a perforated closure is recommended to prevent debris build up. The perforation pattern should allow the same volume of air to pass through as the specified continuous open joint size specified in EQUITONE guidelines.
5. Where a perforated closure is not obstructing the inlet/outlet, the opening should be a minimum of 3/8 inch continuous.
6. Ensure there is enough room to engage the panel clips over the concealed rail system. Suggested 3/4" minimum.
7. (*) symbol represents materials not supplied by EQUITONE.

EQUITONE

DETAIL #: EQ-CF-VG-SS-SCI
RELEASE: 202411
REGION: NORTH AMERICA
WWW.EQUITONE.COM

SOFFIT / CEILING WALL JUNCTION - INSIDE EDGE

EQUITONE CONCEALED FASTENER USING VERTICAL GIRT SYSTEMS ON STEEL STUD CONSTRUCTION



Segmented Facade - Radius

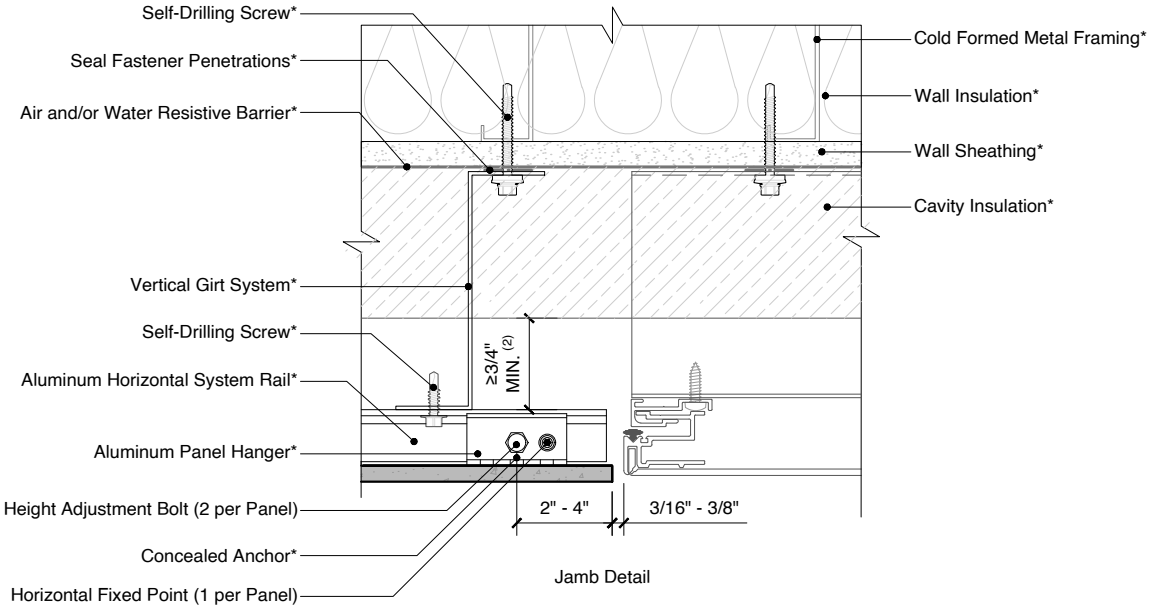
NOTES:
1. Flashing used to close the joints may not be thicker as 1/32 in (23 gauge), including the thickness of any fastener heads.
2. Inlet/Outlet, air cavity, and closure perforation sizing should be modified, from those expressed herein, depending upon building height and/or local legislation. Visit the Planning and Application Guide - Face Fixing to Metal for additional information.
3. (*) symbol represents materials not supplied by EQUITONE.

EQUITONE

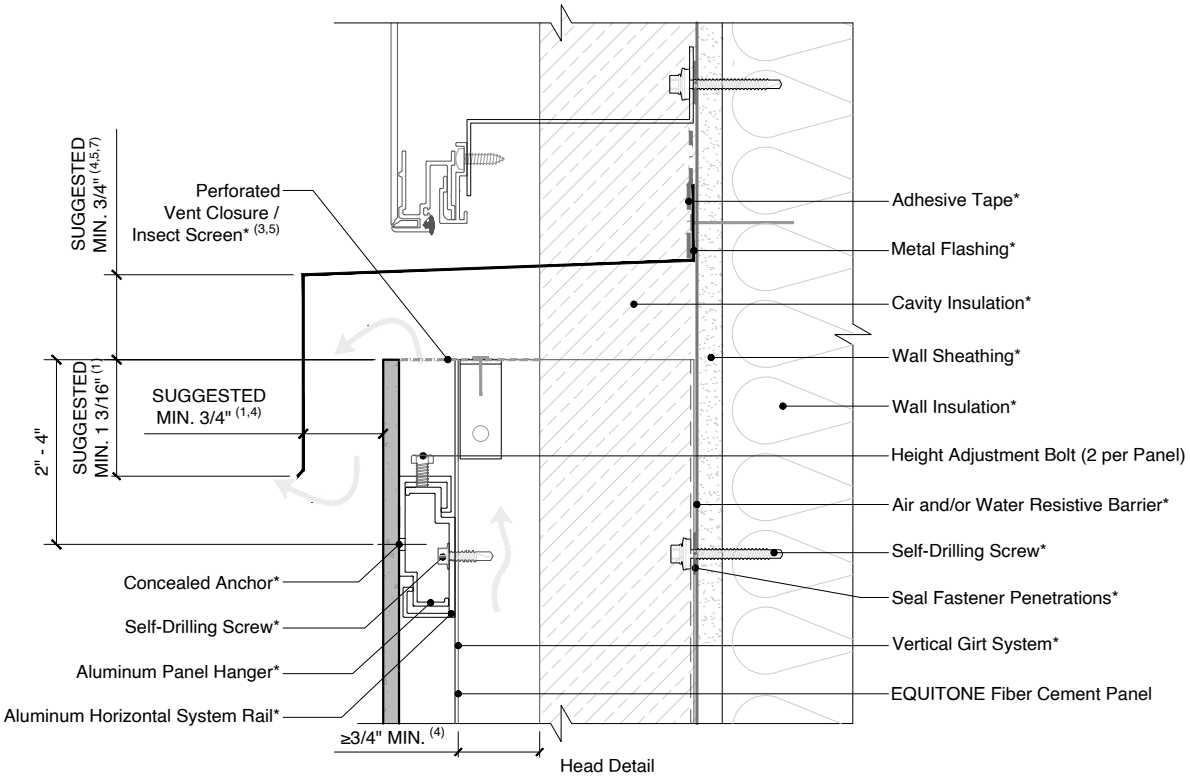
DETAIL #: EQ-CF-VG-SS-CURVE
RELEASE: 202411
REGION: NORTH AMERICA
WWW.EQUITONE.COM

CURVED FACADE DETAILS

EQUITONE CONCEALED FASTENER USING VERTICAL GIRT SYSTEMS ON STEEL STUD CONSTRUCTION



Jamb Detail



Head Detail

NOTES:

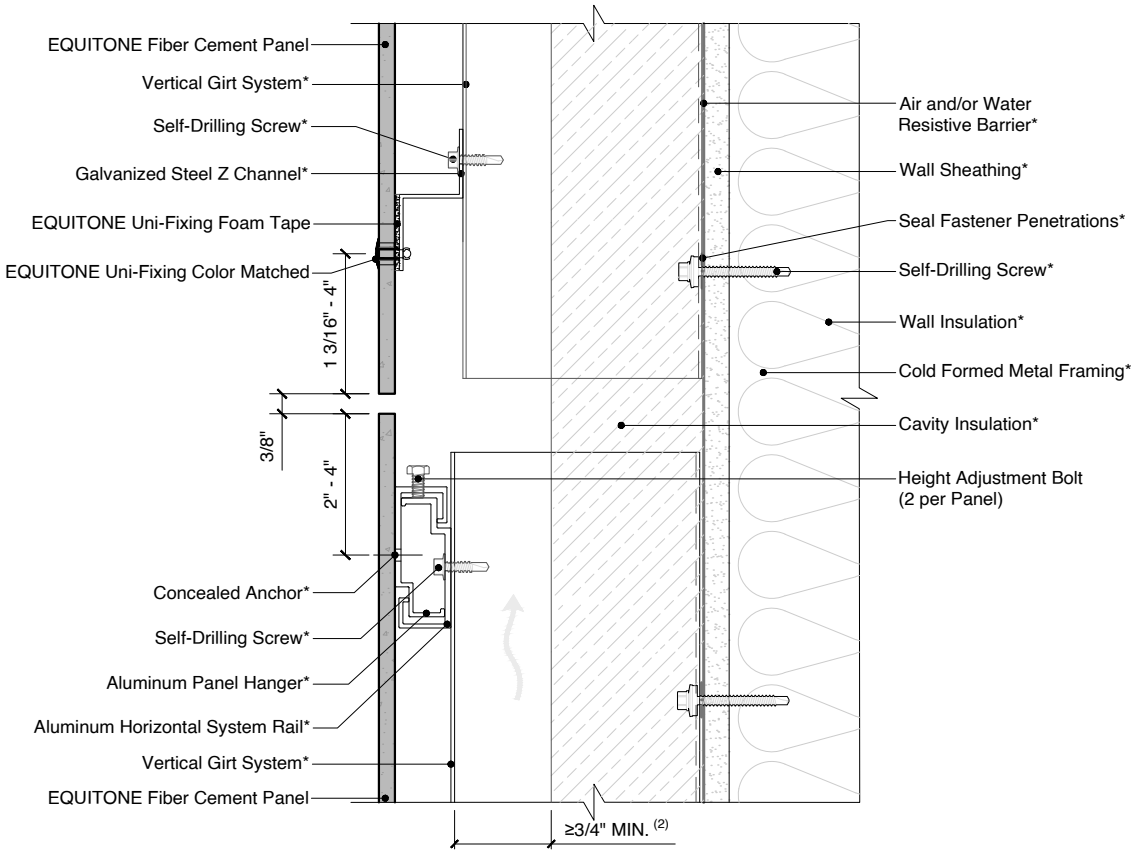
1. A smaller overlap or offset is possible, but it may increase the risk of water marks and panel staining caused by runoff. Smaller capping is also more prone to wind driven rain entering the cavity. At minimum, EQUITONE's ventilation guidelines must be followed.
2. The facade panel should preferably overhang more than 3/8 in below the ventilation profile to create a drip edge.
3. All closures, trims, screens, etc. should be held off the back of the panel by at least 1/16 inch.
4. Inlet/Outlet, air cavity, and closure perforation sizing should be modified, from those expressed herein, depending upon building height and/or local legislation. Visit the Planning and Application Guide - Face Fixing to Metal for additional information.
5. When the inlet/outlet is wider than 3/4 inch continuous, a perforated closure is recommended to prevent debris build up. The perforation pattern should allow the same volume of air to pass through as the specified continuous open joint size specified in EQUITONE guidelines.
6. Where a perforated closure is not obstructing the inlet/outlet, the opening should be a minimum of 3/8 inch continuous.
7. Ensure there is enough room to engage the panel clips over the concealed rail system.
8. (*) symbol represents materials not supplied by EQUITONE.

EQUITONE

DETAIL #: EQ-CF-VG-SS-OM
RELEASE: 202411
REGION: NORTH AMERICA
WWW.EQUITONE.COM

JUNCTION WITH OTHER FACADE MATERIAL DETAILS

EQUITONE CONCEALED FASTENER USING VERTICAL GIRT SYSTEMS ON STEEL STUD CONSTRUCTION



NOTES:
1. The ventilation path must be maintained between varying systems to allow clear vertical air flow.
2. Inlet/outlet, air cavity, and closure perforation sizing will vary, from those expressed herein, depending upon the distance between inlet/outlet or local legislation. Visit the Planning and Application Guide - Face Fixing to Metal for additional information.
3. (*) symbol represents materials not supplied by EQUITONE.

EQUITONE

DETAIL #:	EQ-CF-VG-SS-FJ
RELEASE:	202411
REGION:	NORTH AMERICA
	WWW.EQUITONE.COM

EXPOSED FASTENER - CONCEALED FASTENER JUNCTION

General Information

This document provides generic construction details for EQUITONE façade systems with exposed fasteners to assist with the design of the EQUITONE façade.

This document is not designed to serve as an installation guide and is intended to be used in conjunction with the relevant EQUITONE Planning and Application Guide and other technical and installation documents

The details included in this document only illustrate general principles for detailing EQUITONE at different typical interfaces and are not to be relied upon for weatherproofing and fire safety compliance with local regulations. The weatherproofing and fire performance of any project-specific detail or application shall be evaluated by the project engineer or consultant.

Any components related to wind barriers, fire safety, moisture management, and weatherproofing include but are not limited to membranes, flashing, water seals and sealants, airtightness tapes, horizontal and/or vertical fire barriers, etc. will need to be applied according to local regulations, project requirements, and relevant standards.

The support frame, fixings, flashings, and the like shall be of adequate corrosion resistance appropriate to the corrosivity category of the project location.

All dimensions in this document are in inches [in] unless otherwise stated.

The information in this guide is comprehensive but not exhaustive, and the reader will need to satisfy themselves that the contents of this guide are suitable for their intended application. It is the responsibility of the project consultants (designers, architects, and engineers) to ensure that the information and details provided in this document are appropriate for the project.

The information in this document is correct at the time of issuing. However, due to our committed program of continuous material and system development, we reserve the right to amend or alter the information contained in this document without prior notice. Please visit www.equitone.com to ensure you have the most current version.

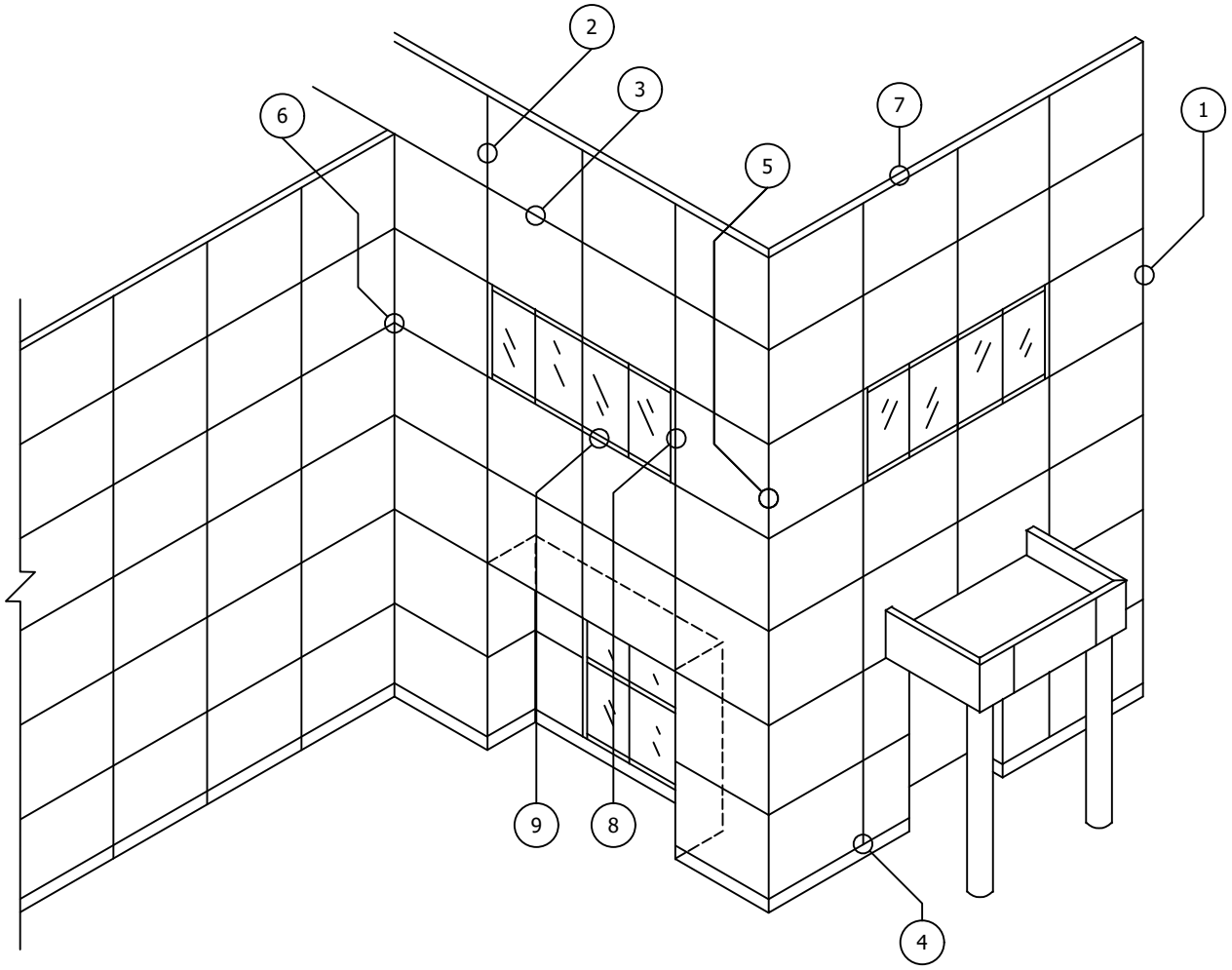
This document is supplied in good faith and no liability can be accepted for any of or damage resulting from its use. Images and construction details contained in this document are not to a specific scale, are indicative and for illustration purposes only, and should not be used as final construction drawings.

Please visit www.equitone.com for contact details further information and technical documents.

www.equitone.com

USA/Canada
1731 Fred Lawson Dr. Maryville TN, 37801
Tel: +1 865 268 0654
E-mail: info.usa@equitone.com
www.equitone.com/en-us/
www.equitone.com/en-ca/

AMD - EQUITONE FIBRE CEMENT PANEL SYSTEM
WITH SFS NV3 CONCEALED ATTACHMENT SYSTEM



EQUITONE PANEL DETAILS:

1. TYP. BASE DETAIL AT FOUNDATION OR TERMINATION DETAIL
2. TYP. VERTICAL JOINT DETAIL
3. TYP. HORIZONTAL JOINT DETAIL
4. TYP. PANEL TERMINATION AT DISSIMILAR/ADJACENT MATERIAL
5. TYP. OUTSIDE CORNER DETAIL
6. TYP. INSIDE CORNER DETAIL
7. TYP. PARAPET DETAIL
8. TYP. WINDOW JAM DETAIL
9. TYP. WINDOW SILL DETAIL

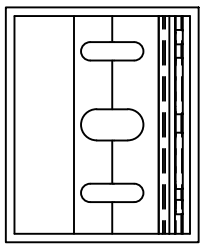
ARCHITECTURAL
METAL DESIGNS, INC.
1505 Pineland Ave., Millville, NJ 08332
www.amdnj.com
Ph: (877) 310-3506 Fax: (856) 765-3350

TITLE:		DRAWING #
REFERENCE - ELEVATION VIEW		R1
SCALE: NA	JULY 18, 2019	

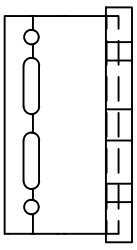
MATERIAL LEGEND		
ITEM #	MATERIAL	NOTES
1	EQUITONE FIBRE CEMENT PANEL	PROVIDED BY AMD
2	NVELOPE NV1 UNIVERSAL BRACKET	PROVIDED BY AMD
3	NVELOPE NV1 DOUBLE BRACKET	PROVIDED BY AMD
4	NV1 L-RAIL 6005A-T6 ALUMINUM	PROVIDED BY AMD
5	NV1 T-RAIL 6005A-T6 ALUMINUM	PROVIDED BY AMD
6	NVELOPE NH2 ADAPTOR	PROVIDED BY AMD
7	NVELOPE OMEGA RAIL	PROVIDED BY AMD
8	NVELOPE Z RAIL	PROVIDED BY AMD
9	SFS RIVET	PROVIDED BY AMD
10	PERFORATED ALUMINUM	PROVIDED BY AMD
11	SHEATHING/FRAMING	BY OTHERS
12	3M AIR BARRIER (RECOMMENDED BY AMD)	BY OTHERS
13	STEEL STUD FRAMING	BY OTHERS
14	CURTAIN WALL	BY OTHERS
15	BREAK METAL COPING	BY OTHERS
16	BREAK METAL FLASHING	BY OTHERS
17	DOOR SYSTEM	BY OTHERS
18	INSULATION	BY OTHERS
19	FOAM TAPE	PROVIDED BY AMD
20	CMU	BY OTHERS
21	Z-GIRT	BY OTHERS
22		
23		
24		
25		

STANDARD NEVELOPE FASTNERS							
N0.	TYPICAL USE & APPLICATION	LENGTH	DIAMETER	HEAD/DRIVE	TIP	PART #	NOTES
F01	Nvelope Bracket to Steel Stud Framing	2" (50.8mm)	#14 (6.5mm)	HWH	Self-Drill	1590627	
F02	Nvelope Bracket to CMU Substrate	3" (76.2mm)	1/2" (13mm)	HWH	Self-Tap	1583839	
F03	Nvelope Bracket to Concrete Wall	3" (76.2mm)	1/2" (13mm)	HWH	Self-Tap	1583839	
F04	Nvelope Bracket to Wood Stud Framing	2-1/16" (52mm)	#14 (6.5mm)	HWH	Self-Drill	1544250	
F05	NH-2 Adapter to Nvelope Wall Bracket	3/4" (19mm)	#10 (4.8mm)	Pan-Head/SR	Self-Drill	1544261	
F06	Vertical Rail to Nvelope Wall Bracket	3/4" (19mm)	#10 (4.8mm)	Pan-Head/SR	Self-Drill	1544261	
F07	Horizontal Profiles to Vertical Rail	7/8" (22mm)	#12 (5.5mm)	HWH	Self-Drill	1544263	
F08	Horizontal NV3 Rails to NV3 Hanger Clips	1-5/8" (41mm)	#12 (5.5mm)	HWH	Self-Drill	1553924	
F09	Nvelope NV3 Hanger Adjustment Screw	3/4" (20mm)	M6			1521489	
F10	SFS TUF-S Concealed Fastener	9 MM				1554325	

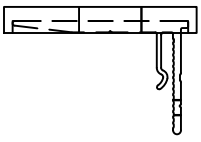
NV1 BRACKET SYSTEM



FRONT

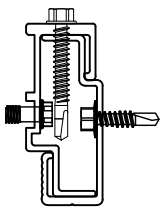


SIDE



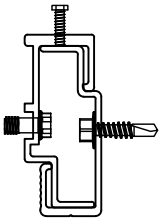
PLAN

NV3 FIXED HANGER TO BRACKET



SECTION

NV3 ADJUSTABLE HANGER TO BRACKET

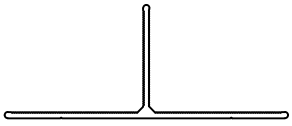


SECTION

NV1 L-RAIL

PLAN

NV1 T-RAIL



PLAN

ARCHITECTURAL METAL DESIGNS, INC.

1505 Pineland Ave., Millville, NJ 08332
www.amdnj.com
Ph: (877) 310-3506 Fax: (856) 765-3350

TITLE:

REFERENCE - MATERIAL LEGEND

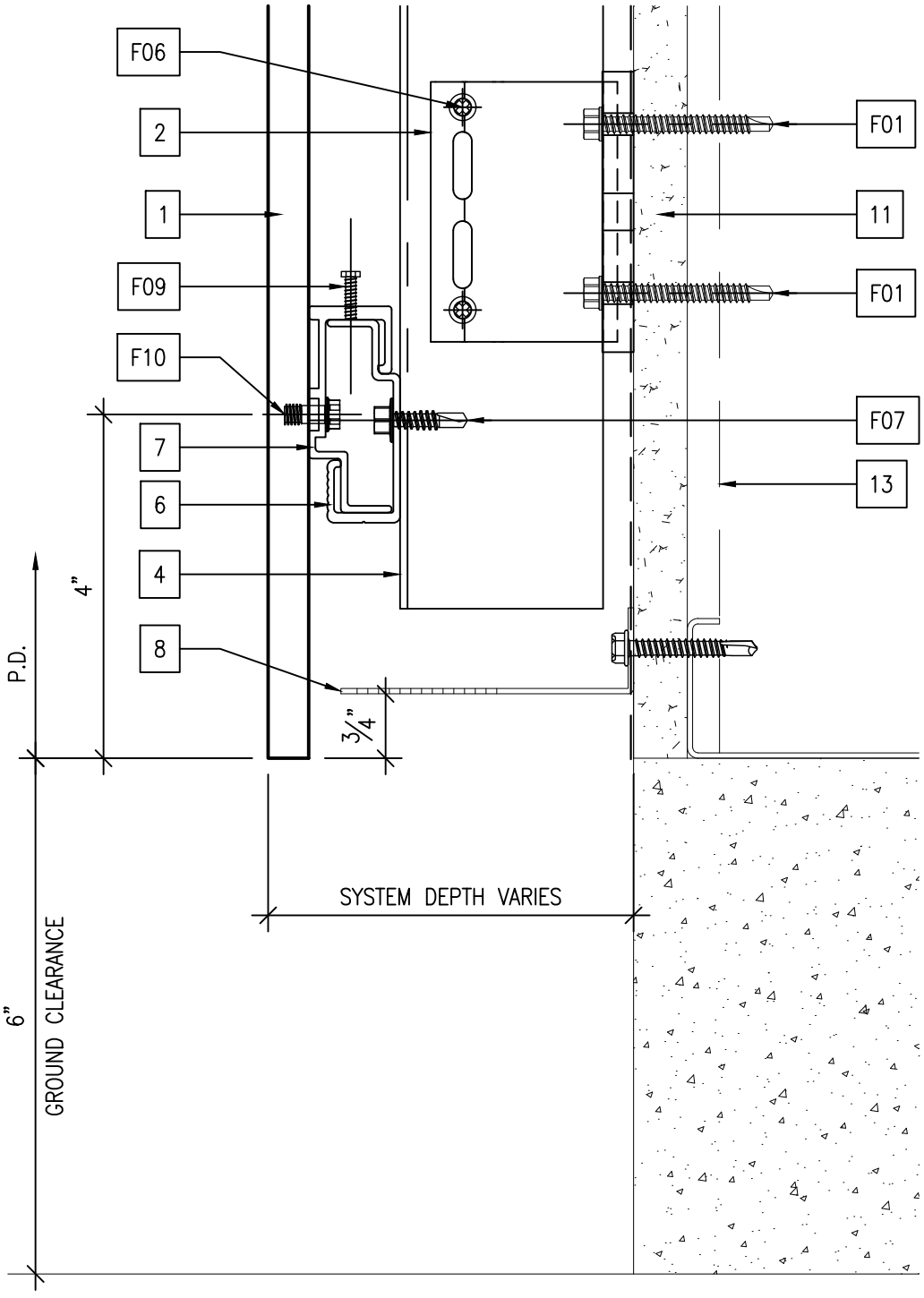
DRAWING #

R2

SCALE: NA

JULY 18, 2019

AMD - EQUITONE FIBRE CEMENT PANEL SYSTEM
WITH SFS NV3 CONCEALED ATTACHMENT SYSTEM

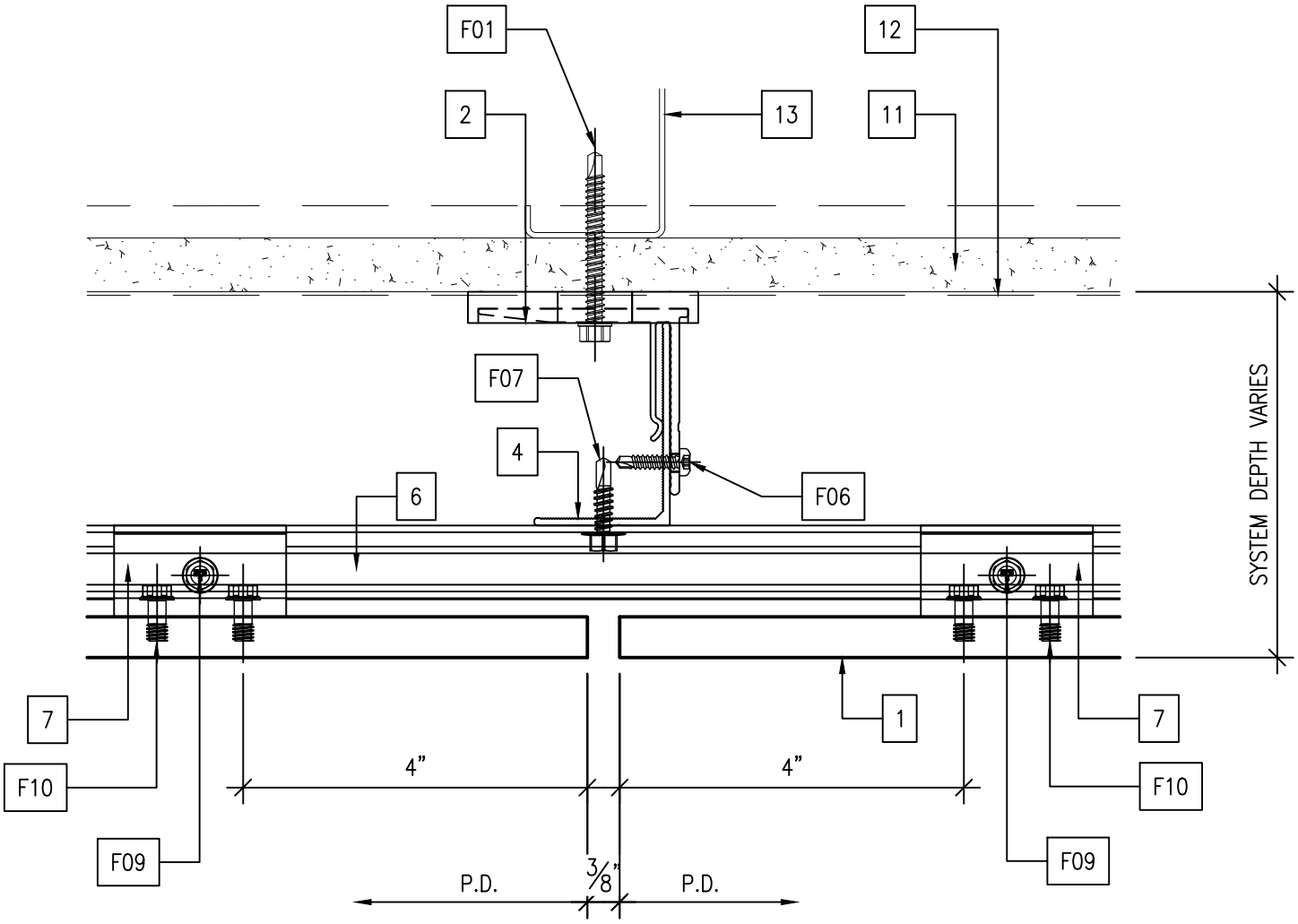


NOTE:
MATERIA REQUIRES 12" OF GROUND CLEARANCE.

ARCHITECTURAL
METAL DESIGNS, INC.
1505 Pineland Ave., Millville, NJ 08332
www.amdnj.com
Ph: (877) 310-3506 Fax: (856) 765-3350

TITLE:	DRAWING #
TYPICAL BASE DETAIL AT FOUNDATION OR TERMINATION DETAIL	1
SCALE: 6"=1' JULY 18, 2019	

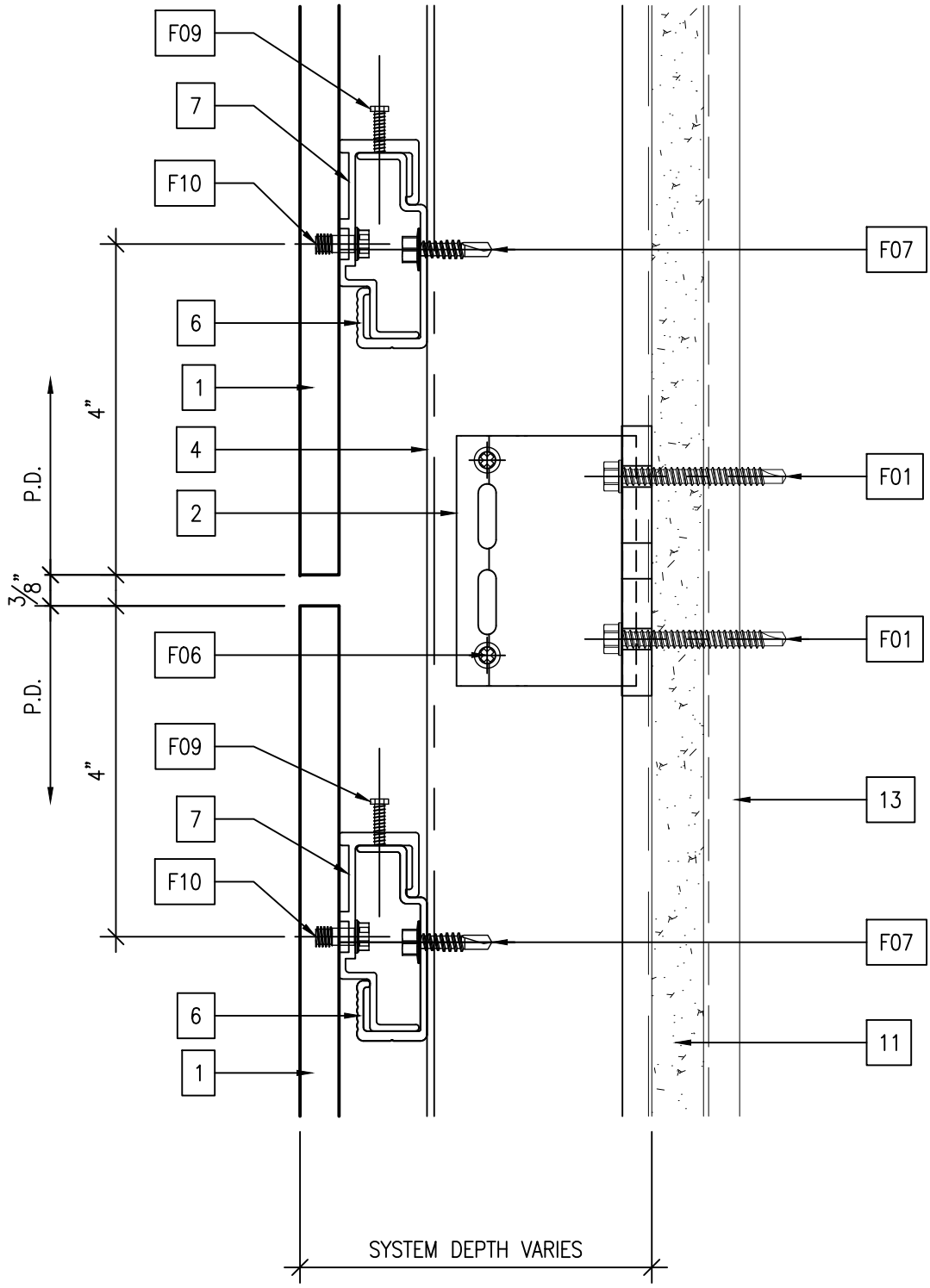
AMD - EQUITONE FIBRE CEMENT PANEL SYSTEM
WITH SFS NV3 CONCEALED ATTACHMENT SYSTEM



ARCHITECTURAL
METAL DESIGNS, INC.
1505 Pineland Ave., Millville, NJ 08332
www.amdnj.com
Ph: (877) 310-3506 Fax: (856) 765-3350

TITLE:	DRAWING #
TYPICAL VERTICAL JOINT DETAIL	2
79 of 106	
SCALE: 6"=1' | JULY 18, 2019	

AMD - EQUITONE FIBRE CEMENT PANEL SYSTEM
WITH SFS NV3 CONCEALED ATTACHMENT SYSTEM

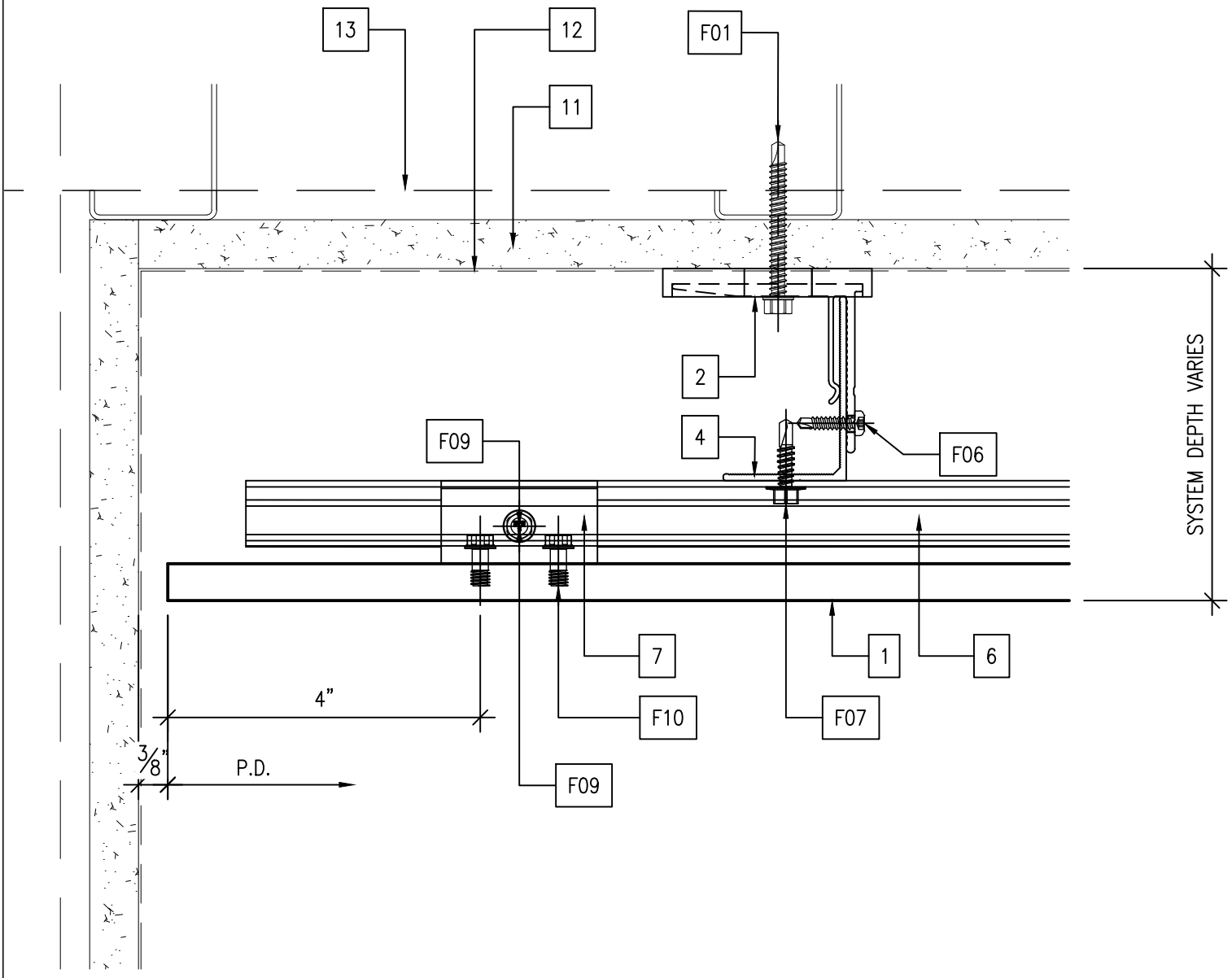


ARCHITECTURAL
METAL DESIGNS, INC.

1505 Pineland Ave., Millville, NJ 08332
www.amdnj.com
Ph: (877) 310-3506 Fax: (856) 765-3350

TITLE:	DRAWING #
TYPICAL HORIZONTAL JOINT DETAIL	3
80 of 106	
SCALE: 6"=1' JULY 18, 2019	

AMD - EQUITONE FIBRE CEMENT PANEL SYSTEM
WITH SFS NV3 CONCEALED ATTACHMENT SYSTEM

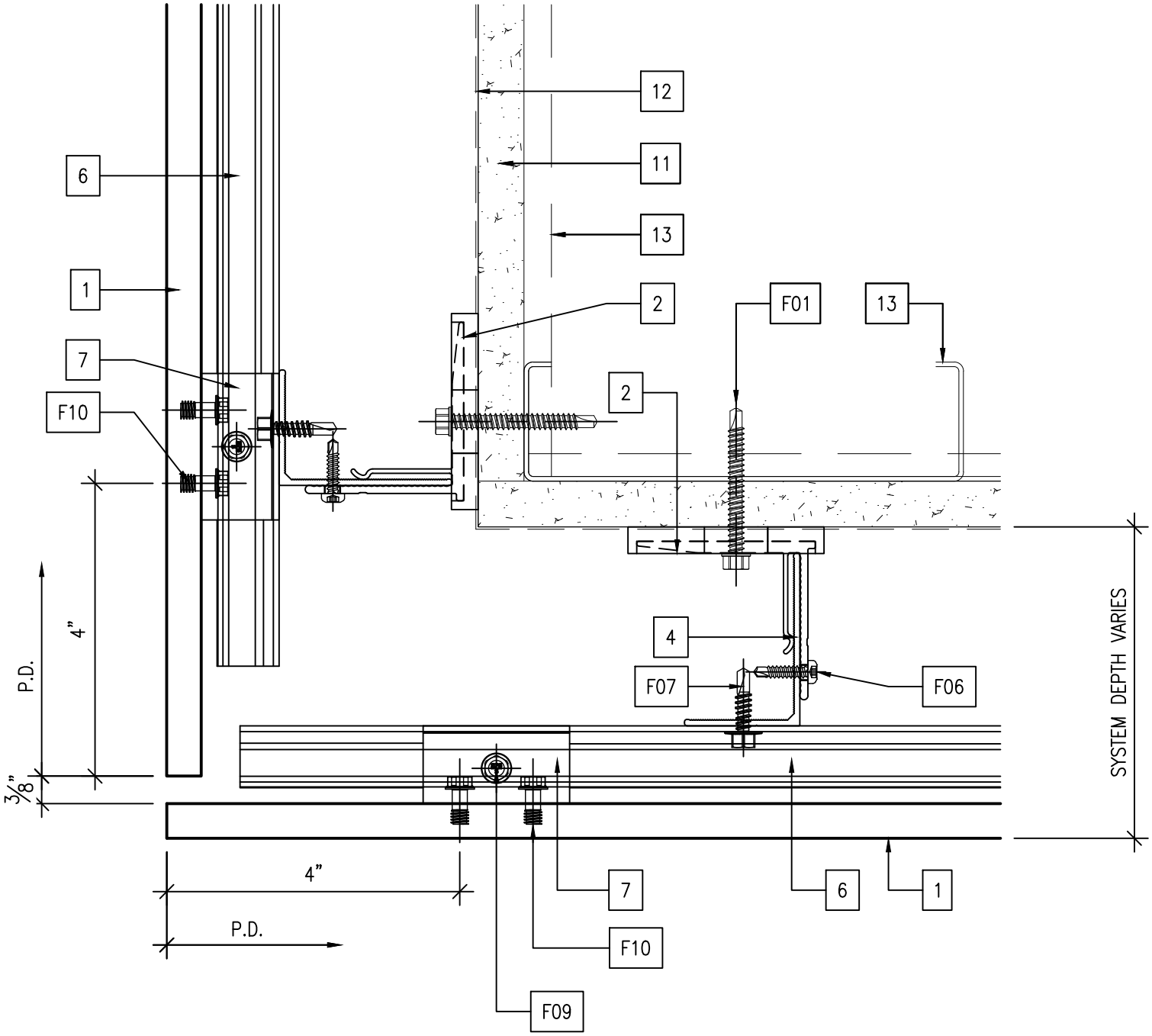


ARCHITECTURAL
METAL DESIGNS, INC.

1505 Pineland Ave., Millville, NJ 08332
www.amdnj.com
Ph: (877) 310-3506 Fax: (856) 765-3350

TITLE:	DRAWING #
TYPICAL PANEL TERMINATION AT DISSIMILAR/ADJACENT MATERIAL DETAIL	4
81 of 106	
SCALE: 6"=1' | JULY 18, 2019	

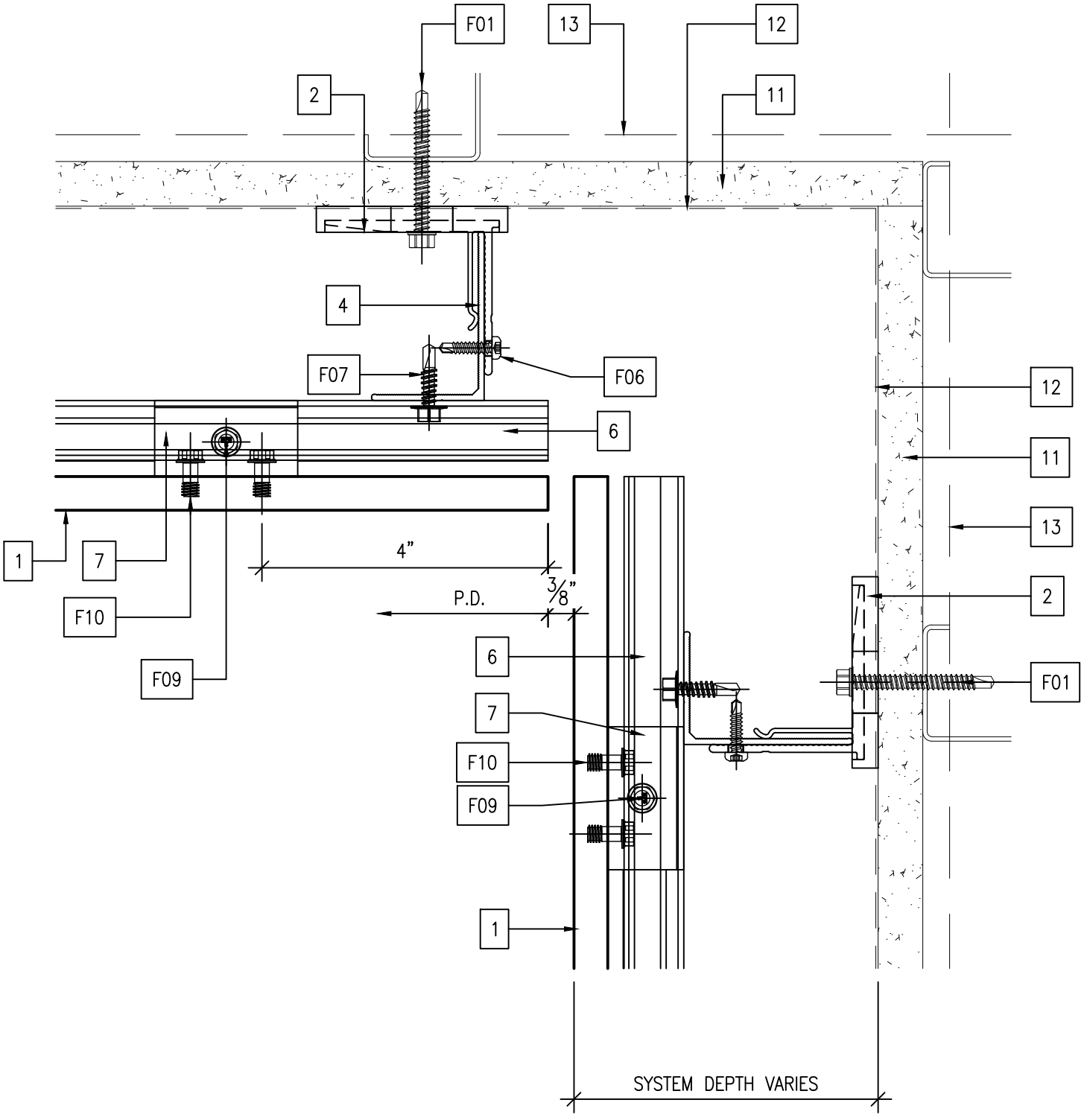
AMD - EQUITONE FIBRE CEMENT PANEL SYSTEM
WITH SFS NV3 CONCEALED ATTACHMENT SYSTEM



ARCHITECTURAL
METAL DESIGNS, INC.
1505 Pineland Ave., Millville, NJ 08332
www.amdnj.com
Ph: (877) 310-3506 Fax: (856) 765-3350

TITLE:	DRAWING #
TYPICAL OUTSIDE CORNER DETAIL	5
82 of 106	
SCALE: 6"=1' JULY 18, 2019	

AMD - EQUITONE FIBRE CEMENT PANEL SYSTEM
WITH SFS NV3 CONCEALED ATTACHMENT SYSTEM

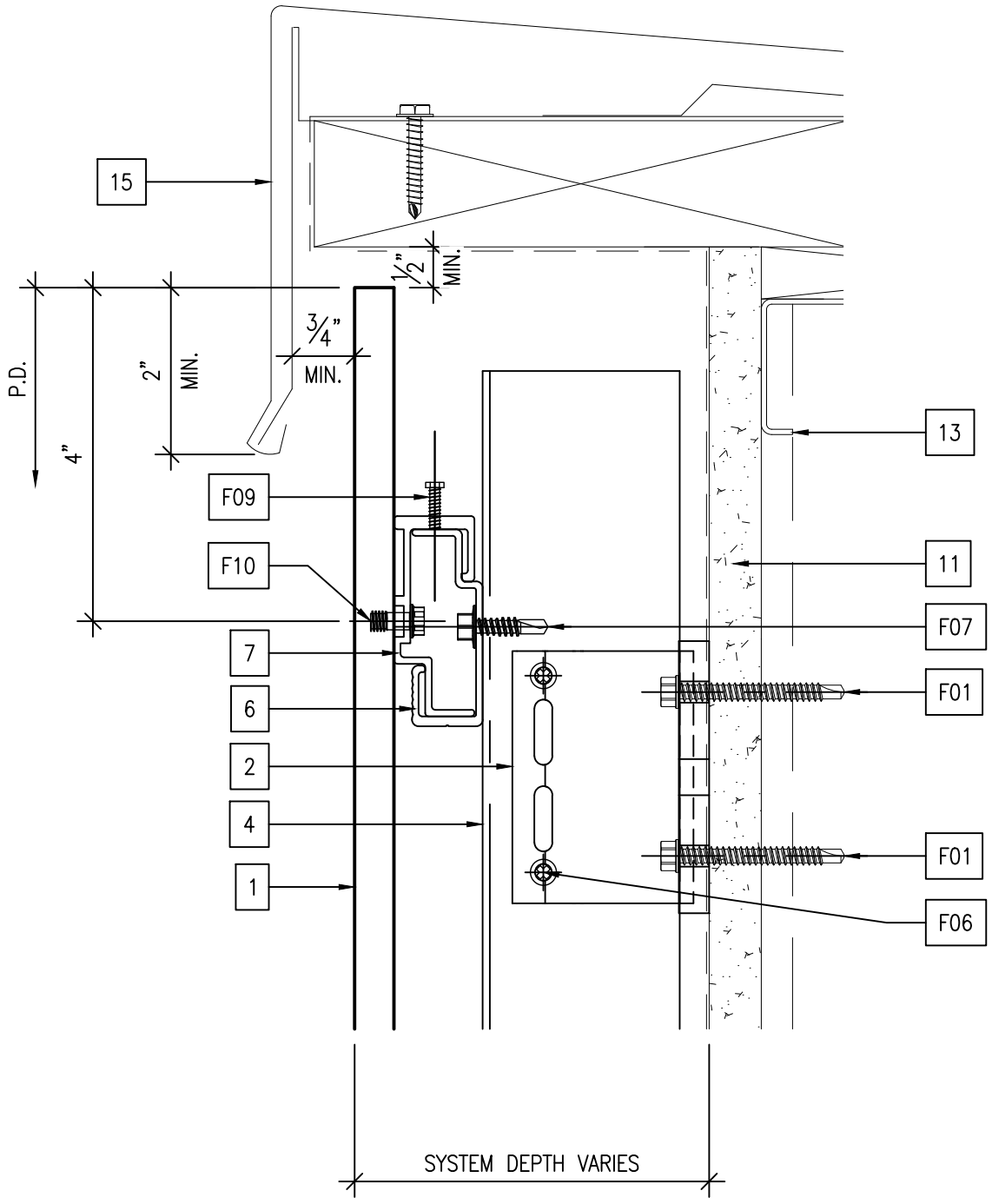


ARCHITECTURAL
METAL DESIGNS, INC.

1505 Pineland Ave., Millville, NJ 08332
www.amdnj.com
Ph: (877) 310-3506 Fax: (856) 765-3350

TITLE:	DRAWING #
TYPICAL INSIDE CORNER DETAIL	6
83 of 106	
SCALE: 6"=1' | JULY 18, 2019	

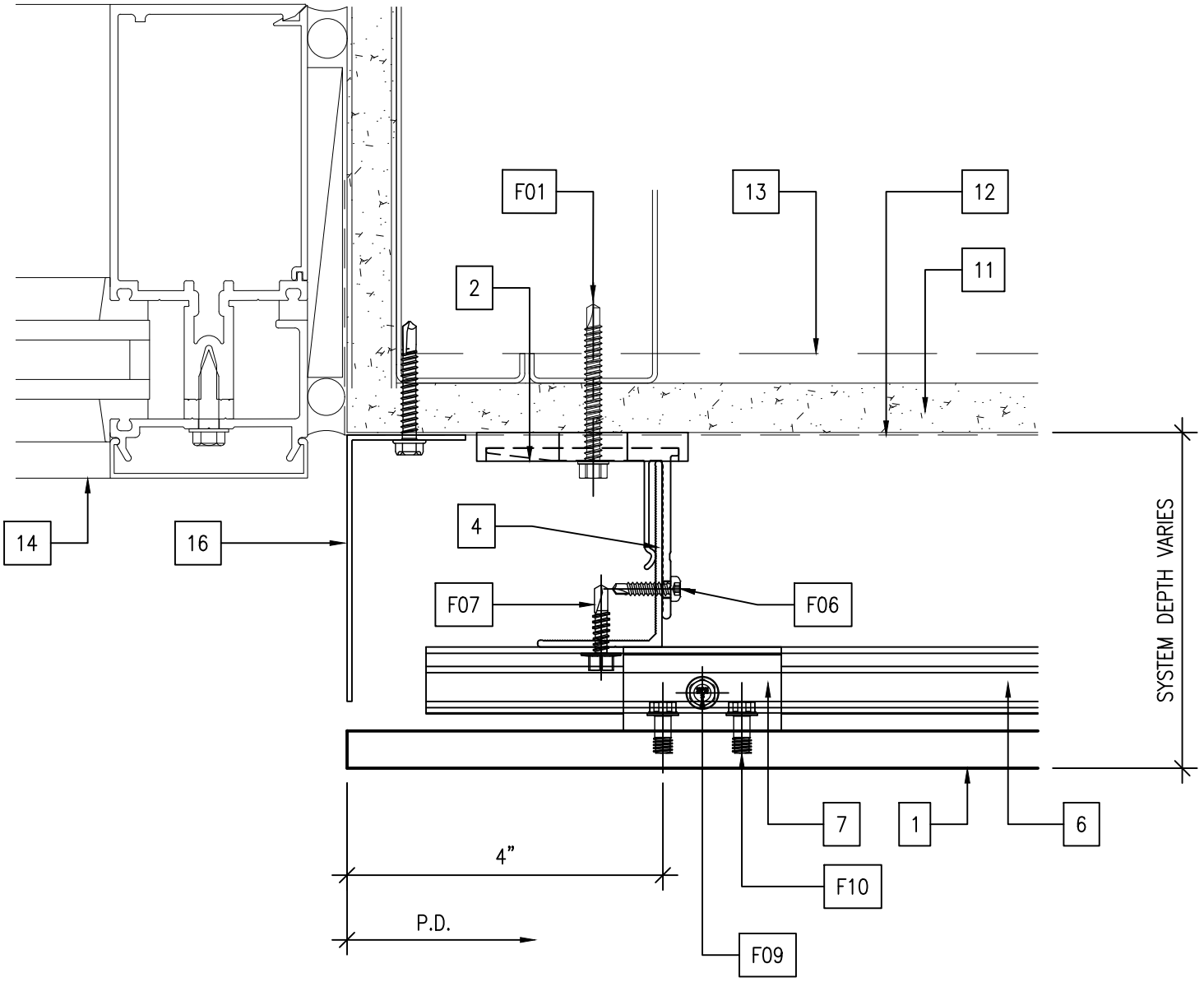
AMD - EQUITONE FIBRE CEMENT PANEL SYSTEM
WITH SFS NV3 CONCEALED ATTACHMENT SYSTEM



ARCHITECTURAL
METAL DESIGNS, INC.
1505 Pineland Ave., Millville, NJ 08332
www.amdnj.com
Ph: (877) 310-3506 Fax: (856) 765-3350

TITLE:	DRAWING #
TYPICAL PARAPET DETAIL	7
84 of 106	
SCALE: 6"=1' JULY 18, 2019	

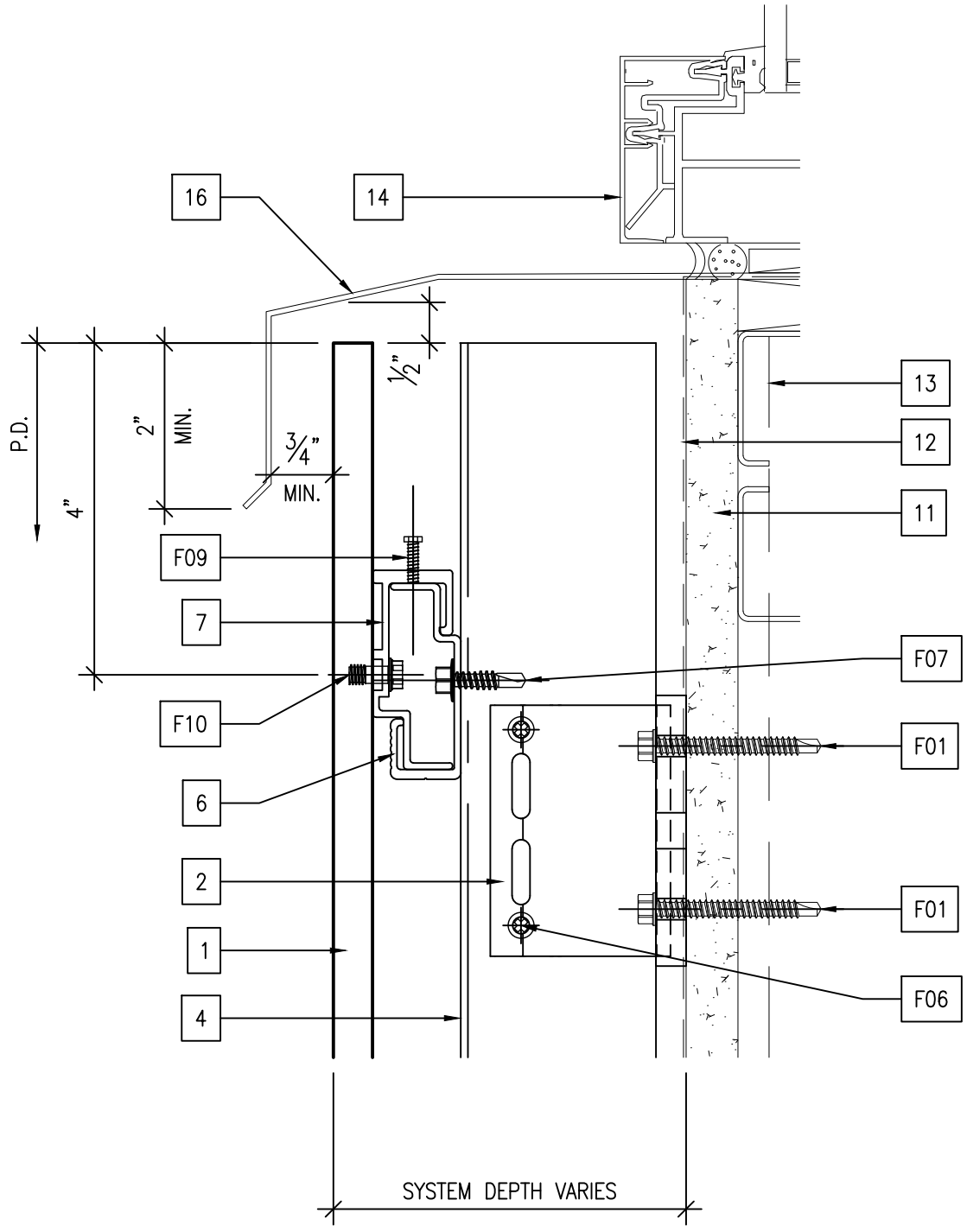
AMD - EQUITONE FIBRE CEMENT PANEL SYSTEM
WITH SFS NV3 CONCEALED ATTACHMENT SYSTEM



ARCHITECTURAL
METAL DESIGNS, INC.
1505 Pineland Ave., Millville, NJ 08332
www.amdnj.com
Ph: (877) 310-3506 Fax: (856) 765-3350

TITLE:	DRAWING #
TYPICAL WINDOW JAM DETAIL	8
85 of 106	
SCALE: 6"=1' JULY 18, 2019	

AMD - EQUITONE FIBRE CEMENT PANEL SYSTEM
WITH SFS NV3 CONCEALED ATTACHMENT SYSTEM



ARCHITECTURAL
METAL DESIGNS, INC.
1505 Pineland Ave., Millville, NJ 08332
www.amdnj.com
Ph: (877) 310-3506 Fax: (856) 765-3350

TITLE:	DRAWING #
TYPICAL WINDOW SILL DETAIL	9
86 of 106	
SCALE: 6"=1' JULY 18, 2019	

LEED v4 for BD+C: New Construction and Major Renovation

Project Checklist

Project Name: 821 Massachusetts Avenue - Arlington, MA
Date: September 5, 2024

Y	?	N			
1			Credit	Integrative Process	1

11	3	18	**Location and Transportation**		16
		16	Credit	LEED for Neighborhood Development Location	16
1			Credit	Sensitive Land Protection	1
	2		Credit	High Priority Site	2
3	1	1	Credit	Surrounding Density and Diverse Uses	5
5			Credit	Access to Quality Transit	5
1			Credit	Bicycle Facilities	1
		1	Credit	Reduced Parking Footprint	1
1			Credit	Green Vehicles	1

4	1	4	**Sustainable Sites**		10
Y			Prereq	Construction Activity Pollution Prevention	Required
	1		Credit	Site Assessment	1
		2	Credit	Site Development - Protect or Restore Habitat	2
		1	Credit	Open Space	1
2		1	Credit	Rainwater Management	3
1			Credit	Heat Island Reduction	2
1			Credit	Light Pollution Reduction	1

9	0	2	**Water Efficiency**		11
Y			Prereq	Outdoor Water Use Reduction	Required
Y			Prereq	Indoor Water Use Reduction	Required
Y			Prereq	Building-Level Water Metering	Required
2			Credit	Outdoor Water Use Reduction	2
6			Credit	Indoor Water Use Reduction	6
		2	Credit	Cooling Tower Water Use	2
1			Credit	Water Metering	1

16	3	14	**Energy and Atmosphere**		33
Y			Prereq	Fundamental Commissioning and Verification	Required
Y			Prereq	Minimum Energy Performance	Required
Y			Prereq	Building-Level Energy Metering	Required
Y			Prereq	Fundamental Refrigerant Management	Required
		6	Credit	Enhanced Commissioning	6
11	3	4	Credit	Optimize Energy Performance	18
		1	Credit	Advanced Energy Metering	1
		2	Credit	Demand Response	2
3			Credit	Renewable Energy Production	3
1			Credit	Enhanced Refrigerant Management	1
1		1	Credit	Green Power and Carbon Offsets	2

4	0	9	**Materials and Resources**		13
Y			Prereq	Storage and Collection of Recyclables	Required
Y			Prereq	Construction and Demolition Waste Management Planning	Required
		5	Credit	Building Life-Cycle Impact Reduction	5
2			Credit	BPD and O - Environmental Product Declarations	2
		2	Credit	Building Product Disclosure and Optimization - Sourcing of Raw Materials	2
		2	Credit	Building Product Disclosure and Optimization - Material Ingredients	2
2			Credit	Construction and Demolition Waste Management	2

6	2	8	**Indoor Environmental Quality**		16
Y			Prereq	Minimum Indoor Air Quality Performance	Required
Y			Prereq	Environmental Tobacco Smoke Control	Required
		2	Credit	Enhanced Indoor Air Quality Strategies	2
1		2	Credit	Low-Emitting Materials	3
1			Credit	Construction Indoor Air Quality Management Plan	1
	1	1	Credit	Indoor Air Quality Assessment	2
1			Credit	Thermal Comfort	1
1	1		Credit	Interior Lighting	2
1		2	Credit	Daylight	3
1			Credit	Quality Views	1
		1	Credit	Acoustic Performance	1

3	1	2	**Innovation**		6
2	1	2	Credit	Innovation	5
1			Credit	LEED Accredited Professional	1

3	0	1	**Regional Priority**		4
1			Credit	Regional Priority: Optimize Energy Performance	1
1			Credit	Regional Priority: Water Use Reduction	1
1			Credit	Regional Priority: Renewable Energy Production	1
		1	Credit	Regional Priority: Rainwater Management	1

57	10	58	**TOTALS**	Possible Points:	110

Certified: 40 to 49 points, **Silver:** 50 to 59 points, **Gold:** 60 to 79 points, **Platinum:** 80 to 110

FIBER CEMENT PANEL FACADE
'Equitone' - Through-colored Fiber Cement Panel, Ventilated Rainscreen Facade System, 'Tectiva, color TE10'

ALUMINUM RAILING
'Railcraft' - Railing & Picket System 'Black'

ALUMINUM CANOPY & SOFFIT
(at deck underside)
'Longboard Architectural Products' - Extruded Aluminum Panel 'Shale'

CORNICE MOULDING
'Mouldex Mouldings' - Exterior Architectural Composite Profile and Fascia / Signband, Site Finish to match Benjamin Moore #1520 'Hushed Hue'

COMPOSITE DECKING
'Timber Tech' - Vintage Collection 'English Walnut'

BRICK FACADE, HEADER & SILL
'Bowerstone Ohio Quality Brick' - 'Flint Ridge Blend Modular' with 'Heritage Black Flash Modular' at detail panel

ALUMINUM STOREFRONT
'Kawneer' - Aluminum Storefront Entrance System, Doors & Windows 'Black' Anodized Finish

EXTERIOR FINISHES

821 MASSACHUSETTS AVENUE
ARLINGTON MA 02476

03/10/2025

Rojas Design, Inc.
Architecture · Interior Design · Landscape Architecture
(617) 720-4100

Town of Arlington, Massachusetts

Public Hearing: Docket #3348, 821-837 Massachusetts Ave (continued from April 14, 2025)

Summary:

7:25 pm The public hearing is continued to allow the Board to review and approve modifications to the previously issued Special Permit under Section 3.3, Special Permits, and Section 3.4, Environmental Design Review.

ATTACHMENTS:

	Type	File Name	Description
🗋	Reference Material	Decision_Docket_3348_833_Mass_Ave_-_04-13-2009.pdf	Decision Docket 3348 821-837 Mass Ave - 04-13-2009
🗋	Reference Material	Decision_Docket_3348_Reopen_833_Mass_Ave_-_11-04-2019.pdf	Docket 3348 Re-opening Decision - 833 Mass Ave - 11-04-2019

2009 00163123
Bk: 53401 Pg: 460 Doc: DECIS
Page: 1 of 12 08/18/2009 10:27 AM

BOTH WAYS

APR 23

I hereby certify this is a True Copy of the Decision of the Arlington Redevelopment Board as filed with the Office of the Town Clerk of the Town of Arlington, Massachusetts on April 28, 2009 and that 20 days have elapsed after the Decision and no Appeal has been filed. ATTEST: Stephanie L. Lucault Asst. Town Clerk
Date of Issue August 3, 2009

ARLINGTON REDEVELOPMENT BOARD

Arlington, Massachusetts
Middlesex, ss

DOCKET NO. 3348

REQUEST FOR SPECIAL PERMIT
Subject to
ENVIRONMENTAL DESIGN REVIEW

Applicant CVS

Date of Hearings October 20, 2008, November 17, 2008, December 22, 2008, February 23, 2009, March 9, 2009, March 30, 2009, April 6, 2009, April 13, 2009

Date of Decision April 13, 2009

Date of Filing _____

Members

Approved	Opposed
Kathryn Sullivan Chair	
Edward Tsai	
Robert C. Chapdelaine	

Record Owner.
Noyes Realty LLP 741321

TOWN OF ARLINGTON
MASSACHUSETTS 02476
781 - 316 - 3090

DEPARTMENT OF PLANNING and
COMMUNITY DEVELOPMENT

OPINION OF THE BOARD

This application by G. B. New England 2, LLC seeks a special permit to construct a CVS drugstore at the subject address. The property has been the site for an automobile dealer and a small office building (formerly a residence) for many years. The applicant originally proposed to construct a 12,900-square-foot retail store on a part of the site that did not include the former residence at 821 Mass. Ave., known as the Atwood House. Prior to the public hearing, the applicant notified the Town that it wished to modify its proposal. It had arranged to include the property on which the Atwood house is located. It now proposed to demolish both buildings, construct the same CVS drug store, and construct an automated bank teller machine in a freestanding, 70-square-foot building. The applicant requested more time to modify its application. Accordingly, the hearing scheduled for October 20, 2008 was opened and immediately continued to November 17, 2008 with no discussion of the project. The hearing was advertised in the Arlington Advocate on October 2 and October 9, 2008.

When it was questioned if the drive-thru pharmacy could be permitted, the Inspector of Buildings determined that the proposed drive-thru for the pharmacy could be permitted as use number 8.17, which requires a special permit. The public hearing for that special permit use was advertised in the Arlington Advocate on December 4 and December 11, 2008, and scheduled for December 22, 2008 which coincided with the continuation date (from November17, 2008) for the original permit application. Subsequently, hearings have been held for all proposed uses on January 26, 2009, February 23, 2009, March 9, 2009. Mar 30, 2009, April 6, 2009, and April 13, 2009.

The proposal has changed in response to the discussion at these hearings. The Atwood House will not be demolished, but will remain. There has been a great deal of discussion about using the house as a multi-family residence. However, at this time, there is no specific proposal for the use of the Atwood House. The applicant has indicated that it wishes to complete the permitting of the CVS drugstore, and will return to modify the special permit when the use of the Atwood House is determined. The proposed site plan includes the Atwood House, parking spaces that are dedicated to it , and space for an addition to the rear of the structure.

FINDINGS OF FACT

Section 10.11a-1 The uses requested are listed in the Table of Use Regulations as a Special Permit in the district for which application is made or is so designated elsewhere in this Bylaw.

The applicant seeks a special permit to operate a retail store having more than 3,000 square feet of gross floor area. The use, number 6.16 in the Table of Use Regulations (Section 5.04 of the Zoning Bylaw), is a special permit use in the B4 zoning district. The fact that the proposed development also requires a building permit and is located on Massachusetts Avenue means that the special permit is subject to environmental design review (Section 11.06 of the Zoning Bylaw). The applicant also seeks special permits for signs under Section 7.09, and for parking and loading space standards under Section 8.12 of the Zoning Bylaw. The proposal includes two drive-thru pharmacy

Certificate of Title 241321 of (1950/67)
• 50754/229

windows, which the Inspector of Buildings has said can be permitted special permit under accessory use number 8.17. The Board finds that the proposal meets this standard.

Section 10.11a-2 The requested use is essential or desirable to the public convenience or welfare.

The town is now served by four large drugstores (two of which are CVS, one of which does not have a pharmacy) and two additional pharmacies. The proposed use of the site will establish the fifth large drugstore in Arlington (and the third CVS store) and the sixth pharmacy. The proposed store will be the only pharmacy with a drive-thru. Public input at the public hearing has been mixed, but some clearly want a convenient, large drugstore with a drive-thru pharmacy. The Board finds that the proposed use is desirable to the public convenience or welfare.

Section 10.11a-3 The requested use will not create undue traffic congestion, or unduly impair pedestrian safety.

The applicant submitted a traffic impact report, and then modified it several times to include the impact of the project on pedestrians, the impacts when the abutting high school is in session, the re-positioning of the retail store, and the preservation of the Atwood House. At each step of the way, the Board's traffic consultant has reviewed the reports. The Town's Transportation Advisory Committee has also reviewed the traffic impact studies and made recommendations to the Board.

The following is the sequence of documents regarding traffic impacts:

1. Traffic Impact Study by GEOD (for CVS), August 18, 2008
2. Traffic Impact Study by GEOD (for CVS), November 17, 2008 – This study reflected an altered site plan because CVS had arranged to control more of the property and proposed to demolish the Atwood House and add more parking and an ATM on the site.
3. Memo from BSC Group (ARB's consultant), December 4, 2008 – This memo asked for clarification of parts of the proposal and asked for some technical corrections.
4. Revised Traffic Impact Study by GEOD (for CVS), January 19, 2009 – This study responded to comments from BSC and those made at the December 22 hearing. It also reflected a second change to the site plan: the Atwood house is to remain and put to a new use (as yet undetermined). It also recommended a new crosswalk near Carey Drive and improvements that could be made to the Jason and Mill Streets intersection.
5. Comments by Jeff Maxtutis (TAC), January 19, 2009 – The comments asked for minor changes in the impact analysis.
6. Memo from BSC Group (ARB's consultant), January 22, 2009 – The memo expressed general agreement with the responses in the January 19 report and suggested some refinements.
7. Memo from GEOD regarding pedestrian movements, February 4, 2009 – This report provided more detail about pedestrian movements and studied alternative crosswalk locations.
8. Comments by Jeff Maxtutis (TAC), February 6, 2009 – These comments evaluated the proposed improvements to the Jason and Mill Streets intersection and the proposed crosswalk. It also expressed concern about the site entrance and exit being close to Carey Drive.
9. Memo from GEOD summarizing comments, February 20, 2009 – This memo summarized the recent months' studies, comments, and responses.
10. Memo from TAC, February 26, 2009 – This memo indicated general satisfaction with the impact studies and the changes made to the project. It listed items it still thought were

unresolved: 1) the proximity of the access to Carey Drive, 2) the need for bump-outs at Bartlett Street, 3) the need for bump-outs at the new crosswalk near Carey Drive, and 4) a commitment to make improvements to the Jason and Mill Streets intersection.

11. Email from Chris Emelius (GEOD), March 4, 2009 – Clarified distance from Carey Drive to proposed site entrance.
12. Local CVS traffic counts by Ed Starr (TAC), March 5, 2009 – Counts of pedestrians and vehicles were made at Walgreens in East Arlington for comparison purposes.
13. Memo from BSC Group. March 5, 2009 – This memo concurred with the new crosswalk location and recommended bump-outs. It also made a number of recommendations regarding circulation on the site (parking, drive-thru, delivery).
14. Local traffic counts (various) from Ed Starr (TAC), March 9, 2009 – Additional local counts for comparison purposes.
15. Hours of operation, local drug stores, by E. Carr-Jones (TAC), March 10, 2009 – Hours of operation of local drug stores for comparison purposes.
16. Report on meeting with TAC by Bruce Fitzsimmons (ARB), March 12, 2009 – TAC was pleased with bump-outs, thought $5,000 offer to mitigate Jason and Mill Streets intersection was too low, offered compromise on site entrance location, and expressed concern over the trip generation numbers.
17. Memo from BSC Group. March 20, 2009 – This essentially endorsed the TAC comments of March 12.
18. Memo from TAC, March 23, 2009 – Reiteration of concerns and proposal of $50,000 mitigation fund for unforeseen traffic impacts.
19. Memo from GEOD, March 26, 2009 – This is a discussion of TAC and BSC concerns, and acceptance of the crosswalk bump-outs, and of the site entrance drive 113 feet from Carey Drive.
20. Memo from TAC, March 30, 2009 – This is a defense of TAC's March 23rd memo.
21. Email from Sam Offei-Addo (BSC Group), April 2, 2009 – This listed recommended improvements to signage and traffic lines on the site and at one of the bump-outs.
22. Questions on the Permitting Process for the Proposed CVS Pharmacy at 837 Massachusetts Avenue, Arlington Citizens for Responsible Development, April 6, 2009 by David Wright – This paper expressed concern about the intersection at Jason and Mill Streets, traffic congestion at the high school, the validity of pedestrian counts, traffic generation figures, and traffic impacts on neighboring streets.
23. Traffic and Safety issues Relating to the CVS Special Permit Application, Arlington Citizens for Responsible Development, April 6, 2009 by Dorothy Nash Webber – This paper made comparison of the proposal to the Osco proposal, which was denied some ten years earlier, and reiterated the concerns made in David Wright's paper, above.

The Board considered the traffic safety issues very carefully and asked its traffic consultant and TAC to do likewise. The trip generation numbers were discussed in great detail, with general agreement on the PM numbers and the feeling that the AM numbers may be low. The effects of the traffic on intersection performance were assessed using the PM numbers which corresponded to the TAC's AM counts. The Board therefore felt it had adequate indication of the impacts. Because of the potential impacts at the site entrance, the Board felt compelled to create the ability through an escrow fund to mitigate unexpected vehicle activity near the site. Should mitigation near the site not be deemed necessary, the escrow may be used at the Jason and Mill Streets intersection , which is expected to require mitigation regardless of whether or not the CVS is built.

As a result of the discussions about pedestrian safety and traffic congestion, the applicant has moved the driveway away from Carey Drive to lessen the impact on pedestrians and vehicles entering the high school, and will install a new crosswalk between Carey Drive and the CVS driveway, and will install crosswalk bump-outs on Mass. Ave. at that crosswalk and at Bartlett Avenue. The bump-outs will shorten the crossing distance, and help prevent illegal parking in the crosswalk. The applicant has agreed to contribute funds to help mitigate the impact of increased traffic along Mass. Ave., including at the Jason Street and Mill Street intersection. Based on the data and reports submitted by the applicant's consultant, as revised, and the materials and comments submitted by the Board's consultant and TAC, the mitigation measures agreed to by the applicant as part of this special permit, and the funding of future mitigation measures as required, the Board finds that this standard is met.

Section 10.11a-4 The requested use will not overload any public water, drainage or sewer system or any other municipal system to such an extent that the requested use or any developed use in the immediate area or in any other area of the Town will be unduly subjected to hazards affecting health, safety, or the general welfare.
The impact of the proposed development on public water and sewer will be minimal, but the Town Engineer has given the applicant instructions for making such connections. The applicant has submitted a very detailed stormwater management plan. The stormwater management plan has been revised to conform to the significant changes that have been made in the site plan, but the system remains essentially the same, with most of the stormwater filtered through a large rain garden at the rear of the site. The Board finds that the proposal meets this standard.

Section 10.11a-5 Any special regulations for the use, set forth in Article 11 are fulfilled.
The environmental design review standards of Section 11.06 are evaluated below.

EDR-1 Preservation of Landscape: The landscape shall be preserved in its natural state insofar as practicable, by minimizing tree and soil removal and any grade changes shall be in keeping with the general appearance of neighboring developed areas.
The current site is covered almost entirely by building or paving. There is some lawn area in front and to the right of the Atwood House, and minimal other landscaping. With the Atwood House remaining on the site, it is possible to preserve a 22-inch-diameter pine tree in its front yard. The northern side of the lot slopes steeply down, and is covered with scrub growth, including trees. The proposed development will retain most of the treed area to the north, and introduce significantly more landscaping on the remaining three sides, as well as some landscaped areas within the parking lot. Besides that mentioned above, there is no existing landscaping to be preserved; the site is either paved or covered by building. The proposed plan will replace some of the impermeable surface with landscape, and the total landscaped area exceeds the amount required by the Zoning Bylaw. The Board finds that the proposal meets this standard.

EDR-2 Relation of the Building to the Environment: Proposed development shall be related harmoniously to the terrain and to the use, scale and architecture of the existing buildings in the vicinity that have functional or visible relationship to the proposed buildings. The Arlington Redevelopment Board may require a modification in massing so as to reduce the effect of shadows on the abutting property in an R-1 or R-2 district or on public open space.
The current proposal is much improved from the original application. The proposed store building has been moved up to the front of the lot, consistent with business uses along Mass. Ave. The Atwood House is to remain. It is important that the current design retains the Atwood House in its

current location on the site, and accommodates the possible future expansion at the rear of the structure. The Atwood House, and the current design of the CVS building itself, present an appropriate streetscape for Mass. Ave. in this area. The Board finds that the proposal meets this standard.

EDR-3 Open Space: All open space (landscaped and usable) shall be so designed as to add to the visual amenities of the vicinity by maximizing its visibility for persons passing by the site or overlooking it from nearby properties. The location and configuration of usable open space shall be so designed as to encourage social interaction, maximize its utility and facilitate maintenance.

The open space provided on the site is appropriately and attractively landscaped, and exceeds the amount of landscaped space required by the Zoning Bylaw. The changes to the parking lot configuration result in the proposal meeting the required open space within the parking lot. In addition, the applicant has agreed to provide landscaping between the setback at the front of the new building and the sidewalk. The spaces will be attractively planted and placed to provide a pleasant view or screening as needed. The Board finds that the proposal meets this standard.

EDR-4 Circulation: With respect to vehicular and pedestrian and bicycle circulation, including entrances, ramps, walkways, drives, and parking, special attention shall be given to location and number of access points to the public streets (especially in relation to existing traffic controls and mass transit facilities), width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic, access to community facilities, and arrangement of vehicle parking and bicycle parking areas, including bicycle parking spaces required by Section 8.13 that are safe and convenient and, insofar as practicable, do not detract from the use and enjoyment of proposed buildings and structures, and the neighboring properties.

The traffic circulation on the site is designed to accommodate large delivery trucks and the pharmacy drive-thru, and to provide parking for customers. The evolution of the site plan is such that the current proposal meets the standard. Some minor changes to the directional signage have been suggested. There is bike parking provided near the store entrance, and extensive changes involving a crosswalk; and curb bump-outs are proposed near the vehicle entrance to the site, helping to protect pedestrian traffic.

EDR-5 Surface Water Drainage: Special attention shall be given to proper site surface drainage so that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Available Best Management Practices for the site should be employed, and include site planning to minimize impervious surface and reduce clearing and re-grading. Best Management Practices may include erosion control and stormwater treatment by means of swales, filters, plantings, roof gardens, native vegetation, and leaching catchbasins. Stormwater should be treated at least minimally on the development site; that which cannot be handled on site shall be removed from all roofs, canopies, paved and pooling areas and carried away in an underground drainage system. Surface water in all paved areas shall be collected in intervals so that it will not obstruct the flow of vehicular or pedestrian traffic and will not create puddles in the paved areas.

In accordance with Section 10.11.b, the Board may require from any applicant, after consultation with the Director of Public Works, security satisfactory to the Board to insure the maintenance of all stormwater facilities, such as catch basins, leaching catch basins,

detention basins, swales, etc., within the site. The Board may use funds provided by such security to conduct maintenance that the applicant fails to do.

The Board may adjust in its sole discretion the amount and type of financial security such that it is satisfied that the amount is sufficient to provide for any future maintenance needs. The applicant has submitted a very detailed stormwater management plan, which was revised to match the current plan. It has been reviewed by the Town Engineer, and the applicant has responded to the comments. The storm drain system discharges storm flow in the same location as the flow is directed today. The permeable surface on the site has been reduced, and the system includes an underground detention and infiltration chamber and a rain garden to reduce, clean, and slow the flow of storm water. The Board finds that the proposal meets this standard.

EDR-6 Utilities Service: **Electric, telephone, cable, TV, and other such lines and equipment shall be underground. The proposed method of sanitary sewage disposal and solid waste disposal from all buildings shall be indicated.**
The plans indicate adequate underground utility connections; they also show the location of an electric transformer in a landscaped island in the parking lot. The Town Engineer made some modifications to the plans relative to the hook-ups in Mass. Ave. The applicant has moved the transformer location to a less visible location. The Board finds that the proposal meets this standard.

EDR-7 Advertising Features: **The size, location, design, color, texture, lighting, and materials of all permanent signs and outdoor advertising structures or features shall not detract from the use and enjoyment of proposed buildings and structures and the surrounding properties.**
The main signage on the building consists of two wall signs, one facing Mass. Ave., and one facing the parking lot on the west side of the building. The two signs meet the bylaw standards. Several signs are located within the parking lot area to direct traffic. These signs exceed the one-square-foot area that is allowed. The directional signs are helpful and important in helping vehicles navigate a fairly complicated parking lot. The signs are slightly larger than three square feet each, and the Board has determined that the larger size is in the public interest, and is allowed by special permit. Other directional signs are posted on, and identify, the pharmacy drive-thru. These also are larger than one square foot, and the Board has determined that they are allowed by special permit.

EDR-8 Special Features: **Exposed storage areas, exposed machinery installations, service areas, truck loading areas, utility buildings and structures, and similar accessory areas and structures shall be subject to such setbacks, screen plantings, or other screening methods as shall reasonably be required to prevent their being incongruous with the existing or contemplated environment and the surrounding properties.**
The proposal includes two dumpsters at the rear of the parking lot, which are visible from the street. The sides of the dumpster are screened by plantings, and the front is stockade fence. Planting has been sited to the rear of the Atwood House to effectively screen the dumpster area from the street and from the Atwood House. There is a large electrical transformer in a landscaped island in the parking lot. It was moved to a less visible location, and is appropriately screened with vegetation. The proposal locates rooftop HVAC and refrigeration units behind the screen of the slanted roof surfaces; this equipment will not be visible from the ground. The Board finds that the proposal meets this standard.

EDR-9 Safety: With respect to personal safety, all open and enclosed spaces shall be designed to facilitate building evacuation and maximize accessibility by fire, police, and other emergency personnel and equipment. Insofar as practicable, all exterior spaces and interior public and semi-public spaces shall be so designed to minimize the fear and probability of personal harm or injury by increasing the potential surveillance by neighboring residents and passersby of any accident or attempted criminal act.
The plan appears to be generally safe, with all accessible spaces open to the public view. The parking lot is well lighted to serve the parking lot users well. The Board requested reduced lighting on the Atwood House side of the proposed building; the plan calls for some light in this area for safety. The source of lighting on the site will not be visible from off the site. The Board finds that the proposal meets this standard.

EDR-10 Heritage: With respect to Arlington's heritage, removal or disruption of historic, traditional, or significant uses, structures or architectural elements shall be minimized insofar as practical, whether these exist on the site or on adjacent properties.
The site has no historical structure, and the site has no historical significance. Before it became an auto dealership, there were three or four houses on the site, including the Atwood House, which remains today. The Atwood House is listed as a significant building under Arlington Town Bylaws, as is the Baptist Church next door. The applicant has stated that the Atwood House will be retained on the site, and the proposed plan reflects that. Any addition or modification of the Atwood House would have to respect Town bylaws regarding significant structures. Any modification of the Atwood House will require an amendment of this special permit. The Board finds that the proposal meets this standard.

EDR-11 Microclimate: With respect to the localized climatic characteristics of a given area, any development which proposes new structures, new hard surface, ground coverage, or the installation of machinery which emits heat, vapor, or fumes, shall endeavor to minimize, insofar as practicable, any adverse impacts on light, air, and water resources, or on noise and temperature levels of the immediate environment.
The proposal will reduce the amount of impermeable area on the site. The HVAC and refrigeration equipment are located on the roof of the CVS building in a well, behind slanted roofs on all four sides. The site is large relative to the amount of equipment, and the heat, light , vapor, or fumes will not be detectable. The Board finds that the proposal meets this standard.

EDR-12 Sustainable Building and Site Design: Projects are encouraged to incorporate best practices related to sustainable sites, water efficiency, energy and atmosphere, materials and resources, and indoor environmental quality. Applicants must submit a current Green Building Council Leadership in Energy and Environmental Design (LEED) checklist, appropriate to the type of development, annotated with narrative description that indicates how the LEED performance objectives will be incorporated into the project.
The applicant has submitted the LEED checklist, and the narrative required by this standard. The plan shows the methods to control soil erosion and sedimentation of storm sewers. The plan increases the amount of permeable surface, and exceeds the Town's open space requirement. The planned lighting is designed to prevent up lighting, and to minimize light trespassing onto abutting properties. Low-flow toilet fixtures will be used, and the performance of the proposed energy systems in the building has been optimized.

The project site has certain characteristics that help make it sustainable. The project uses an already-built site with existing infrastructure, and is accessible to public transportation. The developer has provided a landscaped rain garden and bio-retention area at the rear of the site to help reduce water runoff. The applicant considered permeable paving for portions of the parking lot, but it was determined that the potential pollutant load created by a commercial parking lot made such paving environmentally unfriendly. The Board finds that the proposal meets this standard.

Section 10.11a-6 The requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health, morals, or welfare.
The retail drugstore use located right next to the high school is convenient for students; school officials have endorsed the use. The site is zoned for commercial use, and has been used in that manner for many decades. The retention of the Atwood House and the siting of the CVS building near the sidewalk have improved the presence the development makes on the avenue. The store obviously provides a convenience to consumers, and is more of a community use than the auto dealership that existed there for decades. The Board finds that the proposal meets this standard.

Section 10.11a-7 The requested use will not, by its addition to a neighborhood, cause an excess of that particular use that could be detrimental to the character of said neighborhood.
As pointed out above, there are several pharmacies and drug stores in Arlington, but few near the site of the proposed CVS. The nearest is a small pharmacy located in a Stop & Shop supermarket 2/10 of a mile away. The nearest comparable store (a Walgreens east of Arlington Center) is almost 9/10 of a mile away; a Walgreens in Arlington Heights is 1.5 miles away; and the CVS in East Arlington is 1.6 miles away. In addition, the proposed development improves upon the character of the neighborhood by replacing a closed auto dealership. The building design has been changed to be much more in keeping with the appearance of the neighborhood. The site is appropriate for retail use. The Board finds that the proposal meets this standard.

DECISION

The Board finds that the proposal is an appropriate re-use of the property, and grants the following special permits, subject to the following general and special conditions:

Uses 6.16 and 8.17 from the Table of Use Regulations (Sect. 5.04 of the Zoning Bylaw);
special permit for signs (Sect. 7.09 of the Zoning Bylaw); and,
special permit for parking (Sect. 8.12 of the Zoning Bylaw).

General Conditions

1. The final plans and specifications for the site, including all buildings, signs, exterior lighting, and landscaping, shall be subject to the approval of the Arlington Redevelopment Board. The Board shall maintain its jurisdiction over plans and specifications by approving them at 50% and 100% of completion.

At the time of submission of the 50% drawings, the applicant shall submit for approval samples of exterior materials proposed for the building, and the specifics of the location, type, and noise levels of all HVAC and refrigeration machinery.

Final plans and specifications shall include complete information concerning colors, materials, lighting, and other features that comprise the details of the final design. The applicant shall provide a statement from the Town Engineer that all proposed utility services have adequate capacity to serve the development.

2. The final plans and specifications approved by the Board for this permit shall be the final plans and specifications submitted to the Building Inspector of the Town of Arlington in connection with the application for building permits. There shall be no substantial or material deviation during construction from the approved plans and specifications without the express written approval of the Arlington Redevelopment Board.

3. No building permit shall be issued until the Board has received evidence that the special permit has been recorded at the registry of deeds.

4. The Board maintains continuing jurisdiction over this permit, and may, after a duly advertised public hearing, attach other conditions, including, but not limited to, restricting the store opening hours, or it may modify these conditions as it deems reasonably appropriate to protect the public interest and welfare. Such modifications shall not require the applicant to modify the size or dimensions of the retail building shown on the approved plan, nor restrict the opening hour to any time later than 8:00 AM.

5. Snow removal from all parts of the site, as well as from any abutting public sidewalks, shall be the responsibility of the owner or occupant, and shall be accomplished in accordance with the Town bylaws.

6. All exterior trash and storage areas on the property, if any, shall be properly screened and maintained in accordance with Title V, Article 9, of the Bylaws of the Town of Arlington.

7. Trash shall be picked up only between the hours of 7:00 a.m. and 6:00 p.m., Monday through Friday.

8. No final or permanent Certificate of Occupancy shall issue on this project until the project is completed in its final form, and approved by the Redevelopment Board as being in compliance with the final plans and specifications, including the landscape plan.

9. The Building Inspector is hereby notified that he is to monitor the site, and should proceed with appropriate enforcement procedures at any time he determines that violations are present. The Inspector of Buildings shall proceed under Section 10.09 of the Zoning Bylaw, pursuant to the provisions of MGL c. 40, s. 21D, and institute non-criminal complaints. If necessary, the Inspector of Buildings may institute appropriate criminal action also, in accordance with Section 10.09.

Special Conditions

1. All utilities serving or traversing the site (including electric, telephone, cable, and other such lines and equipment) shall be underground.

2. Upon installation of landscaping materials and other site improvements, the applicant shall remain responsible for such materials and improvement, and shall replace and repair such as necessary, to remain in compliance with the approved site plan.

3. All utility work off site in public rights-of-way of the Town of Arlington shall be undertaken in accordance with the provisions of the Town bylaws.

4. Upon the issuance of the building permit, the applicant shall file with the Building Inspector and the Department of Community Safety the names and telephone numbers of contact personnel who may be reached 24 hours each day during the construction period.

5. The Atwood House shall remain at its present location on the site, and reasonable and diligent efforts shall be used to maintain its present condition to prevent any damage from the elements or otherwise, until it is redeveloped. It is acknowledged that ten parking spaces behind the Atwood House are reserved for its use. It is further acknowledged that the plan of the site leaves space behind the Atwood House to accommodate a possible future expansion of the structure, and that no use of that portion of the site will preclude such an expansion. Redevelopment of the house will require the amendment of this special permit, regardless of whether the proposed use of the structure is allowed by right or by special permit (as such are listed in the Arlington Zoning Bylaw). No requests to move or demolish the house by amending this special permit will be made within 24 months of the date of issuance of this permit.

6. The applicant shall install bump-outs and thermo-plastic crosswalks on Mass. Ave. at Carey Drive and at Bartlett Avenue. Bump-outs shall be installed on both sides of Mass. Ave. The design and construction of the bump-outs and crosswalks shall be approved by the Town Engineer, and shall take into account drainage at those locations.

7. Post construction monitoring: The Town will measure traffic volume at the CVS driveway six months, and again twelve months, after the opening of the CVS, and when school is in session, to compare with the analyzed volume data. Driveway traffic volumes will be recorded during the weekday AM (7-9 AM) and PM (4-6 PM) peak periods. Based upon this data, and the safety and performance of the area at least 6 months after opening, the Town will decide what, if any, mitigation is needed on roadways near the site. Possible mitigation may include addition of a left turn lane, or other measures, to improve safety and operations along Mass. Ave. between Carey Drive and the intersection of Jason and Mill Streets, at the Town's discretion. The funding for the mitigation shall be paid from the traffic mitigation escrow account referred to in Condition No. 8 below.

8. CVS will contribute the total sum of $50,000 to a traffic mitigation escrow account, prior to receipt of an occupancy permit. These funds would first be used for mitigations around the site if it were determined during post-construction monitoring that further mitigation is needed. If it is not needed at the site, it may also be used as a contribution toward improvements at Jason/Mass/Mill Streets. Said escrow account will be closed, and unspent monies returned to CVS, five years after the date of the occupancy permit. All disbursements from the CVS escrow account will be subject to the approval of the ARB.

9. Prior to receiving a building permit, the applicant shall submit to the ARB for its review a plan for reduction of energy use, including use of energy-efficient lighting and appliances, to be incorporated into the plans and specifications.

10. Changes to signage, such as wording, color, or material of construction, but not changes in the number, location, or size of signs, may be deemed by the Planning Director to be consistent with the existing special permit, and such changes may be made by sign permit.

11. In accordance with Standard EDR-5, the applicant is required to post a bond in the amount of $1,500 as security that the storm drain system will be maintained in good working order. The ARB may use the funds to conduct cleaning and maintenance of the system if the applicant fails to do so. Town personnel, or the Town's agents, may enter upon the property to perform such cleaning and maintenance.

12. This permit is contingent upon the applicant receiving an Order of Conditions from the Arlington Conservation Commission for the project essentially as approved by the Arlington Redevelopment Board.

13. The drive-thru pharmacy shall be open only between the hours of 8:00 AM and 10:00 PM, and only when the main store is open, and only pharmacy and pharmacy-related items (but not general merchandise) may be sold through the drive-thru window. Bicyclists will be allowed to use the drive-thru pharmacy, and "No Idling" signs will be posted for vehicles using the drive-thru. Pedestrian walkup business will not be allowed.

14. Aside from the shutters described in the approved plans, first floor windows shall not be covered or obscured in any way that prevents a clear view into the store, without the prior written permission of the ARB. No film, paper, or other material, including advertisements, may be used to cover any windows.

15. The applicant shall maintain a clean site at all times, and the landscaped area on the north side of the site, extending down the hill to the property below, shall be cleaned at least once in the spring and once in the fall. Litter and fallen branches and such shall be removed, and trees and shrubs shall be pruned as necessary.

I hereby certify this is a True Copy of the Decision of the Arlington Redevelopment Board as filed with the Office of the Town Clerk of the Town of Arlington, Massachusetts on April 28, 2009 and that 20 days have elapsed after the Decision and no Appeal has been filed. ATTEST: Stephanie L. Lucarelli

Date of Issue August 3, 2009 Town Clerk

Asst.

I hereby certify this is a True Copy of the Decision of the Arlington Redevelopment Board as filed with the Office of the Town Clerk of the Town of Arlington, Massachusetts on and that 20 days have elapsed after the Decision and no Appeal has been filed ATTEST: Janice J. Weber

Date of Issue 12-9-2019 Asst. Town Clerk

TOWN CLERK'S OFFICE
ARLINGTON, MA 02174

2019 NOV 18 AM 9:34

RECEIVED

ARLINGTON REDEVELOPMENT BOARD

Arlington, Massachusetts
Middlesex, ss

DOCKET NO. 3348

DECISION
Special Permit Under
ENVIRONMENTAL DESIGN REVIEW

Applicant: CVS
One CVS Drive, Woonsocket, RI 02895
Property Address: 833 Massachusetts Avenue, Arlington, Massachusetts 02476

Date of Hearings: August 12, 2019, November 4, 2019
Date of Decision: November 4, 2019

20 Day Appeal Period Ends: December 8, 2019

Members Approved	**Opposed**
Eugene B. Benson	
David M. Watt	

Janice J. Weber — 12-9-2019

Asst. Town Clerk's Certification — Date

Town of Arlington, Massachusetts

Redevelopment Board

730 Massachusetts Avenue, Arlington, Massachusetts 02476

DECISION OF THE BOARD

Environmental Design Review Docket #3348
833 Massachusetts Avenue, Arlington, MA 02476
CVS

November 4, 2019

This Decision applies to the re-opening of Special Permit Docket 3348 by CVS to install new signage consistent with CVS rebranding. The CVS store is located at 833 Massachusetts Avenue within a B4 Vehicular Oriented Business District. The re-opening of the Special Permit is to allow the Board to review and approve the signage, under Section 3.4, Environmental Design Review, and section 6.2, Signs. A public hearing was held on August 12, 2019, and continued to November 4, 2019, when this decision was rendered.

Materials submitted for consideration of this application:
Application for Environmental Design Review Special Permit application dated June 27, 2019.

The following criteria have been met, per Section 3.3.3, Arlington Zoning Bylaw:

1. The retail pharmacy is allowed in the B-4 Vehicular Oriented Business District.

2. The retail pharmacy has operated in this location for many years.

3. There are no exterior alterations other than signage.

4. The retail pharmacy will not overload any public utilities: public water, drainage or sewer system or any other municipal system.

5. No special regulations are applicable to the use.

6. The use does not impair the integrity or character of the neighborhood. Although additional directional signs will be installed to assist in circulation on the site, the large wall signs will be smaller than the existing signage on the building.

7. The use will not be in excess or detrimental to the character of the neighborhood.

The following criteria have been met, per Section 3.4.4, Arlington Zoning Bylaw:

A. **EDR-1 Preservation of Landscape**
There are no changes to the site that would impact existing natural features.

B. **EDR-2 Relation of the Building to the Environment**
There are no changes to the exterior of the building other than the installation of new signage to replace the existing signage.

C. **EDR-3 Open Space**
The 2009 Decision indicated that landscaping would be installed between the front of the building and the Massachusetts Avenue sidewalk. This area is entirely sidewalk and three benches are present. The tenant and the property owner will work with the Department of Planning and Community Development to come to a reasonable solution that reflects the previous Decision. There are no other changes to open space as a result of the signage rebranding.

D. **EDR-4 Circulation**
The existing circulation does not change; however, the addition of a Do Not Enter sign will help ensure that internal circulation occurs as it is intended.

E. **EDR-5 Surface Water Drainage**
The signage rebranding will not affect surface water run-off.

F. **EDR-6 Utilities Service**
There are no changes to the utility service as a result of the signage rebranding.

G. **EDR-7 Advertising Features**
The existing CVS signage includes a slash, and reads as CVS/pharmacy. The rebranding eliminates the slash, but includes a heart shape in front of the words CVS pharmacy. The rebranding retains the typical red color associated with CVS.

The new signage includes removing the large signage above the main entrance of the building and other plaques, and replacing it with updated signage. A Do Not Enter sign will be installed. All other directional signage will be retained.

The signage on the Massachusetts Avenue frontage is currently 75.18 square feet and will be replaced with signage that measures approximately 33.08 square feet. The reason for the reduction is the size of the letters. The existing letters are approximately 36 inches and the proposed letters are 22.5 inches. Additionally, the new signage will include channel LED illumination.

The main signage facing the parking lot is currently 33.41 square feet and will be replaced with signage that measures approximately 33.08 square feet. The existing letters are

approximately 24 inches and the proposed letters are 22.5 inches. Additionally, the new signage will include channel LED illumination.

Three plaques on the property will be updated. A plaque at the main entrance will be replaced. This plaque conveys information regarding the opening hours, the store manager, and the pharmacy manager. The plaque will remain but the CVS/pharmacy will be replaced with the heart branding. The receiving entrance plaque will be replaced with a 3 square foot plaque. A directional sign will be replaced at the drive-thru pharmacy that indicates both lanes offer full service. It is approximately 4.17 square feet.

A Do Not Enter sign will be installed at the end of the main drive aisle in the parking lot. At the rear of the site, the circulation is one way in order to access the drive-thru pharmacy. The Do Not Enter sign will reinforce the circulation pattern. The sign will be installed about 3 feet above grade and is approximately 2.25 square feet.

An additional directional sign that was not accounted for previously was also acknowledged during the public hearing. The directional signage provides a visual cue on the best way to access the drive through pharmacy.

All other directional signage remains as is on the property.

The reduction in the size of the main signage, the lighting upgrade, and the addition of the Do Not Enter sign are improvements to the property.

H. EDR-8 Special Features

There are no changes to the building or the site that would cause any adverse impacts on light, air and water resources, or on noise and temperature levels.

I. EDR-9 Safety

There are no changes to the building or the site that would cause any safety or accessibility concerns.

J. EDR-10 Heritage

The CVS building is not located on any local or State historic property listing. The adjacent Atwood House is identified as a significant building per Title VI, Article 6 of the Town Bylaw. The signage rebranding does not impact the Atwood House and the 2009 Decision retains jurisdiction over future plans for the structure as does the Historical Commission. The Redevelopment Board requests that the property owner attend the December 16, 2019 meeting to discuss the future of the Atwood House.

K. EDR-11 Microclimate

The signage rebranding will not impact the microclimate.

L. EDR-12 Sustainable Building and Site Design

The signage rebranding will support sustainable building and site design through the usage of LED fixtures to illuminate the signage.

The project must adhere to the following general conditions:

1. The final plans and specifications for signage shall be subject to final approval by the Department of Planning and Community Development (DPCD).

2. Any substantial or material deviation during construction from the approved plans and specifications is subject to the written approval of the Arlington Redevelopment Board.

3. The conditions of the 2009 Special Permit decision are still in force. The Board maintains continuing jurisdiction over this permit and may, after a duly advertised public hearing, attach other conditions or modify these conditions as it deems appropriate in order to protect the public interest and welfare.

The project must adhere to the following special conditions:

1. The Applicant and the property owner will work with the Department of Planning and Community Development to come to a reasonable solution that reflects the requirement of the 2009 Decision to install landscaping between the front of the building and the Massachusetts Avenue sidewalk.

2. The Applicant and property owner appear at the December 16, 2019, Redevelopment Board hearing to discuss the ongoing compliance with the 2009 Decision, with special attention to the Atwood House.